

Southern Planning Committee

Agenda

Date:	Wednesday 4th December 2024
Time:	10.00 am
Venue:	Council Chamber, Municipal Buildings, Earle Street, Crewe CW1 2BJ

Please note that members of the public are requested to check the Council's website the week the Southern Planning Committee meeting is due to take place as Officers produce updates for some or all of the applications prior to the commencement of the meeting and after the agenda has been published

The agenda is divided into 2 parts. Part 1 is taken in the presence of the public and press. Part 2 items will be considered in the absence of the public and press for the reasons indicated on the agenda and at the top of each report.

It should be noted that Part 1 items of Cheshire East Council decision making meetings are audio recorded and the recordings will be uploaded to the Council's website

PART 1 – MATTERS TO BE CONSIDERED WITH THE PUBLIC AND PRESS PRESENT

1. Apologies for Absence

To receive apologies for absence.

2. Declarations of Interest/Pre Determination

To provide an opportunity for Members and Officers to declare any disclosable pecuniary interests, other registerable interests, and non-registerable interests in any item on the agenda and for Members to declare if they have pre-determined any item on the agenda.

3. Minutes of Previous Meeting (Pages 3 - 8)

To approve the minutes of the meeting held on 11 September 2024.

For requests for further information

Contact: Rachel Graves

E-Mail: rachel.graves@cheshireeast.gov.uk

4. **Public Speaking**

A total period of 5 minutes is allocated for each of the planning applications for the following:

- Ward Councillors who are not members of the Planning Committee
- The relevant Town/Parish Council

A total period of 3 minutes is allocated for each of the planning applications for the following:

- Members who are not members of the planning committee and are not the Ward Member
- Objectors
- Supporters
- Applicants

5. **23/4559C - LAND AT CROXTON LANE, MIDDLEWICH: Erection of 65 affordable homes with two accesses from Croxton Lane, highway and footway improvements, open space and sustainable drainage pond (Pages 9 - 48)**

To consider the above planning application.

6. **24/1297N - DODDINGTON ESTATE, BRIDGEMERE LANE, BRIDGEMERE CW5 7PU: Reserved Matters application for 18no dwellings on Site 1 on outline approval 18/2153N (APP/R0660/W/19/3221564): The development proposed is Development of 12 no. sites for residential development for 112 no. dwellings with means of access and layout included, but with all other matters reserved, for a 10 year phased release and delivery period and associated community betterment (parking overspill next to School, enhanced parking next to Church permissive pedestrian paths, playspace, public access, community orchard, educational contribution and affordable housing)[RE-SUBMISSION of 16/5719N : addition of extra 2.81 ha of land and 10 no. dwellings] (Pages 49 - 90)**

To consider the above planning application.

7. **24/2326N - FIRST FRIENDS PRE SCHOOL, VINCENT STREET, CREWE: Proposed Change of Use from former Church Hall/Childrens Pre school to House in Multiple Occupation C4 (Pages 91 - 106)**

To consider the above planning application.

THERE ARE NO PART 2 ITEMS

Membership: Councillors J Bird, J Bratherton (Chair), L Buchanan, A Burton, R Fletcher, A Gage, A Kolker (Vice-Chair), R Morris, M Muldoon, J Wray and B Wye

CHESHIRE EAST COUNCIL

Minutes of a meeting of the **Southern Planning Committee**
held on Wednesday, 11th September, 2024 in the Committee Suite 1,2 & 3,
Westfields, Middlewich Road, Sandbach CW11 1HZ

PRESENT

Councillor J Bratherton (Chair)
Councillor A Kolker (Vice-Chair)

Councillors J Bird, L Buchanan, A Burton, R Fletcher, A Gage, R Morris,
M Muldoon, J Rhodes and J Wray

OFFICERS IN ATTENDANCE

Dan Evans, Principal Planning Officer
Andrew Goligher, Highways Officer
Andrew Poynton, Planning and Highways Lawyer
Rachel Graves, Democratic Services Officer

18 APOLOGIES FOR ABSENCE

Apologies were received from Councillor G Smith. Councillor J Rhodes
attended as a substitute.

19 DECLARATIONS OF INTEREST/PRE-DETERMINATION

No declarations of interest were made.

20 MINUTES OF PREVIOUS MEETING**RESOLVED:**

That the minutes of the meeting held on 31 July 2024 be confirmed as a
correct record.

21 PUBLIC SPEAKING

The public speaking time procedure was noted.

**22 23/2353C - LAND AT CENTURION WAY, MIDDLEWICH: OUTLINE
PLANNING APPLICATION FOR THE ERECTION OF RESIDENTIAL
DWELLINGS, GREEN INFRASTRUCTURE WITH ACCESS AND SCALE
INCLUDED ALL OTHER MATTERS RESERVED**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application:

Councillor Garnett Marshall (ward councillor) and Mr Michael Conroy (agent).

RESOLVED:

That for the reasons set out in the report and update report, the application be APPROVED with the following Heads of Terms:

S106	Amount	Triggers
Affordable Housing	30% on site provision (65% affordable/social rent and 35% intermediate tenure).	In accordance with phasing plan.
Education	£26,717 per secondary pupil place generated by the development. £74,920 per SEN pupil place generated by the development.	To be paid prior to the occupation of the 20th dwelling
NHS	1 bed – £713 2 bed – £1019 3 bed – £1426.50 4 bed – £1783 5 bed – £2445.50	To be paid prior to the occupation of the 40th dwelling
POS	Provision of Open Space, and a NEAP and a scheme of management. Allotment/food growth contribution: £562.50 per dwelling Outdoor sport facilities contribution: £1564.54 per family (2+ bed) dwelling and £782.27 per bed space to a maximum of £1564.54 per apartment.	Open Space Scheme and scheme of management to be submitted and approved prior to the commencement of development. Contributions to be paid prior to the occupation of the 40 th dwelling
Highways	Middlewich Eastern Bypass/ Leadsmithy Street works £6,329.23 per property	50% be paid prior to the occupation of the 20th dwelling. 50% be paid prior to the occupation of the 40th dwelling

and the following conditions:

- 1) Standard Condition – time limit submission of the Reserved Matters
- 2) Standard Condition – time limit implementation of development

- 3) Standard Condition – submission of the Reserved Matters (to include the internal road network)
- 4) Approved Plans
- 5) Sustainable surface water drainage scheme and a foul water drainage scheme
- 6) The access works shown on plan J32-5520-PS-001 should be complete prior to first occupation (this includes off-site highway works, the crossing points, bus stops and the combined footway/cycleway)
- 7) Construction Management Plan should be submitted and approved which provides details of contractor and construction vehicle parking, loading/unloading locations, storage areas, and details of wheel wash facilities.
- 8) Reserved matters to include features for nesting birds.
- 9) Reserved matters to include lighting scheme.
- 10) Reserved matters application must be accompanied by a habitat creation method statement; ecological monitoring strategy and a 30 year habitat management plan for the retained, enhanced and newly created habitats for that phase of the development.
- 11) Reserved matters application should be supported by a strategy for the incorporation of features to enhance the biodiversity value of the proposed development.
- 12) Prior to occupation, full details and cross sections of all drainage strategy assets must be provided to and agreed by the LPA.
- 13) Drainage design, excluding cross section detail, must proceed in accordance with Causeway Flow report.
- 14) Reserved matters application shall be supported by a hedgerow assessment and include a plan which confirms intentions regards retention/removal of hedgerows and a scheme for protection measures during any construction period
- 15) Prior to occupation of the development, the developer shall submit information confirming that all installed gas-fired boilers
- 16) Noise mitigation measures to be submitted and approved as part of the Reserved Matters application.
- 17) Contaminated land – risk assessment
- 18) Contaminated land – verification report
- 19) Contaminated land – soil importation
- 20) Contaminated land – unexpected contamination
- 21) Prior to commencement of development, a written scheme of archaeological investigation
- 22) Prior to the occupation/use of the hereby approved development, a programme for post-excavation assessment/reporting and (where required), analysis, publication, and archiving.
- 23) Development to proceed in accordance with details and measures in the ecological assessment.
- 24) At least 30% of the dwellings in housing developments should comply with the requirements of M4(2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings.

- 25) At least 6% of the dwellings in housing developments should comply with the requirement m4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings.
- 26) The Reserved Matters application shall include a statement to confirm that all dwellings comply with the NDSS.
- 27) Low emission boilers
- 28) 10% of energy needs to be from renewable or low carbon energy

In order to give proper effect to the Committee's intent and without changing the substance of its decision, authority is delegated to the Head of Planning) in consultation with the Chair (or in their absence the Vice Chair) to correct any technical slip or omission in the resolution, before issue of the decision notice.

Should the application be subject to an appeal, the following Heads of Terms should be secured as part of any S106 Agreement:

S106	Amount	Triggers
Affordable Housing	30% on site provision (65% affordable/social rent and 35% intermediate tenure).	In accordance with phasing plan.
Education	£26,717 per secondary pupil place generated by the development. £74,920 per SEN pupil place generated by the development.	To be paid prior to the occupation of the 20th dwelling
NHS	1 bed – £713 2 bed – £1019 3 bed – £1426.50 4 bed – £1783 5 bed – £2445.50	To be paid prior to the occupation of the 40th dwelling
POS	Provision of Open Space, and a NEAP and a scheme of management. Allotment/food growth contribution: £562.50 per dwelling Outdoor sport facilities contribution: £1564.54 per family (2+ bed) dwelling and £782.27 per bed space to a maximum of £1564.54 per apartment.	Open Space Scheme and scheme of management to be submitted and approved prior to the commencement of development. Contributions to be paid prior to the occupation of the 40 th dwelling
Highways	Middlewich Eastern Bypass/ Leadsmithy Street works £6,329.23 per property	50% be paid prior to the occupation of the 20 th dwelling. 50% be paid prior to the occupation of the 40 th dwelling

The meeting commenced at 10.00 am and concluded at 11.14 am

Councillor J Bratherton (Chair)

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Application No: 23/4559C

Location: Land East & West of Croxton Lane, Middlewich

Proposal: Erection of 65 affordable homes with two accesses from Croxton Lane, highway and footway improvements, open space and sustainable drainage pond.

Applicant: Mr Andrew Garnett Breck Homes Ltd

Expiry Date: 25-Oct-2024

SUMMARY

The principle of development is considered to be acceptable, and the site is allocated for development within Policy MID1 of the SADPD.

The development will not have a detrimental impact upon residential amenity and would comply with Policies HOU12 and HOU13 of the SADPD.

The design of the proposed development has been the subject of revised plans and is now of an acceptable design. The design complies with Policies SE1, SD1 and SD2 of the CELPS, the CEC Design Guide and GEN1 of the SADPD.

The proposal would have neutral impact upon the setting of the adjacent Conservation Area and the proposal complies with policies SE7 of the CELPS, and HER1 and HER3 of the SADPD. The impact upon archaeology could be mitigated via the imposition of a planning condition.

In terms of the POS/LEAP, this is considered to be acceptable and would be secured via the completion of a S106 Agreement.

An acceptable landscaping scheme could be secured via the imposition of a planning condition and the development is acceptable in terms of its impact upon ecology. The proposal would comply with Policies SE1, SE3, SE4, SE5, and SE6 of the CELPS, and policies ENV3, EN5 and ENV6 of the SADPD.

The impact upon the trees and hedgerows on the site is considered to be acceptable and complies with Policy ENV6 of the SADPD and SE5 of the SADPD.

The drainage/flood risk implications for this proposed development are considered to be acceptable and the development would comply with policies SE13 of the CELPS and ENV16 of the SADPD.

The proposed access points and the traffic impact are considered to be acceptable. The internal design of the highway layout and parking provision is considered to be acceptable and complies with Policies SD1, SD2, CO2 and SE1 of the CELPS and policy INF3 of the SADPD.

The concerns regarding brine subsidence are noted, but this issue will be resolved at the Building Regulations stage.

The development complies with the Development Plan as a whole and is recommended for approval.

RECOMMENDATION

APPROVE subject to the completion of a S106 Agreement and subject to conditions.

SITE DESCRIPTION

The site of the proposed development extends to 2.26 ha and forms two parts of land on either side of Croxton Lane. The site forms allocation MID1 of the SADPD. To the south is residential development fronting Croxton Lane, Nursery Close and Canalside Way. There is also an individual dwelling to the north of the site.

To the north and east is of the site is the Trent and Mersey Canal which is located within a Conservation Area.

Public Footpath Middlewich FP13 crosses the eastern parcel of the site.

To the north-west of the site is the Middlewich Household Waste Recycling Centre.

The majority of the site is currently in agricultural use and there are a number of trees and hedgerow to the boundaries of the site.

PROPOSAL

This is a full application for the erection of 65 dwellings (reduced from 74 dwellings during the course of this application). Each site would be accessed via a new access from Croxton Lane

The proposed development would have the following housing mix (the previous approved mix as part of application 21/5436C is shown in brackets):

- 16 x one bedroom dwellings (4 units)
- 29 x two bedroom dwellings (21 units)
- 18 x three bedroom dwellings (19 units)
- 2 x four bedroom dwellings (8 units)

All dwellings would be two-stories in height.

The development includes 100% affordable housing provision.

RELEVANT HISTORY

21/5436C - The erection of 52 dwellings with associated infrastructure including new vehicular access from Croxton Lane, alterations to existing lay-by on Croxton Lane, hard and soft landscaping, new open space areas with children's play area, Sustainable Urban Drainage system, pedestrian access point to Croxton Park and continued provision of public right of way – Approved 1st November 2023

NATIONAL & LOCAL POLICY

Cheshire East Local Plan Strategy (CELPs)

MP1 – Presumption in Favour of Sustainable Development

PG1 – Overall Development Strategy

PG2 – Settlement Hierarchy

PG7 - Spatial Distribution of Development

SC4 – Residential Mix

CO1 - Sustainable Travel and Transport

CO4 – Travel Plans and Transport Assessments

SC5 – Affordable Homes

SD1 - Sustainable Development in Cheshire East

SD2 - Sustainable Development Principles

SE 1 - Design

SE 2 - Efficient Use of Land

SE 3 - Biodiversity and Geodiversity

SE 4 - The Landscape

SE 5 - Trees, Hedgerows and Woodland

SE 6 – Green Infrastructure

SE 7 – The Historic Environment

SE 9 – Energy Efficient Development

SE 13 - Flood Risk and Water Management

IN1 – Infrastructure

IN2 – Developer Contributions

Site Allocations and Development Policies Document

PG9 – Settlement Boundaries

GEN1 – Design Principles

ENV2 – Ecological Implementation

ENV3 – Landscape Character

ENV5 – Landscaping

ENV6 – Trees, Hedgerows and Woodland Implementation

ENV7 – Climate Change

ENV12 – Air Quality

ENV14 – Light Pollution

ENV16 – Surface water Management and Flood Risk

HER1 – Heritage Assets

HER3 – Conservation Areas

HER8 - Archaeology

RUR5 – Best and Most Versatile Agricultural Land

HOU1 – Housing Mix

HOU8 – Space, Accessibility and Wheelchair Housing Standards
HOU12 – Amenity
HOU13 – Residential Standards
HOU14 – Housing Density
HOU15 – Housing Density
INF1 – Cycleways, Bridleways and Footpaths
INF3 – Highways Safety and Access
INF9 – Utilities
INF10 – Canals and Mooring Facilities
REC2 – Indoor Sport and Recreation Implementation
REC3 – Open Space Implementation
MID1 – East and West of Croxton Lane

Middlewich Neighbourhood Plan

The local referendum for Middlewich Neighbourhood Plan was held on the 14 March 2019 and returned a 'no vote'

National Policy

The National Planning Policy Framework establishes a presumption in favour of sustainable development.

Of particular relevance are paragraphs:

- 11. Presumption in favour of sustainable development
- 60-84. Delivering a Sufficient Supply of Homes
- 131-141. Achieving well-designed and beautiful places
- 195-214. Conserving and Enhancing the Historic Environment

CONSULTATIONS

CE Flood Risk Manager: No objection in principle. Conditions are suggested in relation to the drainage of the site.

United Utilities: Following a review of the submitted Drainage Strategy, UU can confirm that the proposals are acceptable in principle and conditions should be attached to the decision notice.

A public sewer crosses the site and UU will not permit building over it. After reviewing the revised plans, it appears that UU access to the public sewer is provided by the proposed diversion.

Canal & River Trust: Offer the following comments;

- The C&RT have no comment to make in terms of the location of the LEAP.
- The boundary hedge will provide a barrier to the LEAP and it is important that this is retained. The management and maintenance of the Canal buffer should be clarified.
- It does not appear that any of the houses would be sited closer to the canal and the retention of the intervening hedge provides a degree of protection. The cross-sections demonstrate a satisfactory relationship to the canal.
- It is important that the construction works closest to the canal is carefully managed. The C&RT would welcome details of the construction details as

part of a Construction and Environment Management Plan (CEMP). The CEMP should be secured via the imposition of a condition.

- Details of the surface area of the LEAP should be provided.
- The principle of surface water agreement to the canal was agreed in principle in 2018 subject to the final design, proposed flow rates and quantities. Surface water approvals are valid for 3 years and a new surface water drainage review would be required.
- Any outfall to the canal should be fitted with an oil interceptor.
- If the Council is minded to approve the application, then a condition is suggested requiring the submission of a detailed drainage strategy.
- Any works should be carried out in accordance with the C&RT Code of practice.
- Informatives are suggested to the decision notice.

CEC Education: The following contributions are required to mitigate the impact of the development;

- £187,019 (secondary education)
- £74,920 (SEN)

Strategic Housing Manager: No objection.

Environment Agency: No comments received.

Cadent Gas: No comments received.

Cheshire Brine Subsidence Board: The Brine Board is of the opinion that the site is within an area which has previously been affected by brine subsidence and future movements cannot be discounted. In addition, there are a number of past claims for damage due to subsidence from brine pumping for properties within the vicinity of the site. The Brine Board recommends that precautions are incorporated within the design of the proposed development.

Such precautions may includes;

- Foundations – reinforced concrete raft
- Services – use of flexible materials in service runs; maximise gradients of drains; avoid soakaways
- Superstructure – incorporation of flexibility (flexible couplings within portal frames and maximise use of movement joints).

The board would be willing to discuss alternative design options when a ground dissolution/ brine extraction related risk assessment is submitted, with proposed foundation designs that are designed to overcome the potential effects of brine pumping related subsidence.

As a further requirement the board hereby confirms their request for you to a copy of their consultation response to any document by which the decision on this application is communicated to the applicant. It is important to recognise that there is a second statutory obligation to consult the CBSCB at the Building Control approval stage and that failure to comply at this stage could seriously jeopardise rights of redress, property sales and insurance.

NHS: Request a contribution to mitigate the impact of the proposed development.

Natural England: Natural England considers that the proposed development will not have a significant adverse impact upon the Sandbach Flashes SSSI and no objection is raised.

Archaeology: Standard condition suggested.

PROW: The development if approved will affect Footpaths No 13 and 14 in Middlewich.

The amended plans are now clearer in showing the developers proposal and the diversion of the PROW.

The diversion is subject to an application and order confirmation, where there will be further discussions.

Strategic Highways Manager: No objections are raised subject to conditions relating to the following:

- Prior to first occupation the approved access points are to be provided.
- Prior to occupation the pedestrian crossing point is to be provided.
- Prior to occupation the 30mph speed limit on Croxton Lane is to be relocated.
- The widening of the footpath between Finney's Lane and Meadow View (eastern side).

Environmental Health: The following conditions are suggested;

- Submission and approval of a Travel Plan
- Low emission boilers
- Submission and approval of a Contaminated Land Report
- Submission of a Verification Report before occupation
- Importation of soils
- Unexpected contamination

Public Open Space: Offer the following comments:

- The revised plan is compliant enjoying formal and informal space with focal areas.
- The play area works with the layout and is acceptable.
- Contributions will be required for outdoor sport.
- The application achieves an acceptable design in terms of open space along with elements such as seating, public art etc.
- Should the development be approved the details of the play area can be secured via a condition.

VIEWS OF THE PARISH COUNCIL

Middlewich Town Council: Objects to the application on the following grounds;

- The site is not included within the CEC Local Plan. The Local Plan identifies 3 areas for housing which total 960 new homes of which 725 are under construction.

- Impact upon infrastructure
- Schools are at capacity including Middlewich High School. The Education Service has requested a contribution of £225,269.59, but the calculations do not include the 725 houses under construction.
- There has been no consultation response from the NHS. Previous applications have acknowledged capacity issues. There is no acknowledgement of the ongoing housing developments in Middlewich.
- The Town Council objected to the previous application on this site. Several consultees have raised concerns/objections in terms of this application (Education, the PROW Officer, Archaeology, Flood Risk, the Head of Planning, the Canal and River Trust, Built Heritage, Environmental Health, the Brine Board).
- The last application included a pedestrian crossing across the A530. This has not been included within this application and is a significant safety concern.
- There is no bus service for this development.
- There are no suitable cycleways.
- The proposal is for smaller affordable homes which will attract younger couples and people with young children. The site is physically isolated from the town centre with poor pedestrian/cycle links.
- Concern over the stability of the canal.
- The proposal is contrary to policies SC1, SC2, SC3, SC4, SE1, SE4, SE12, CO1, CO2 and CO4 of the Local Plan.

REPRESENTATIONS

Representations have been received from 117 households which raise the following points:

- Middlewich does not have the infrastructure for more housing (schools, doctors, road network, dentists, pharmacies, social services).
- There is no rail station in Middlewich and the bus service is poor.
- Croxton Lane suffers congestion problems at parts of the day.
- Increase in pollution and noise.
- Loss of scenery.
- Loss of wildlife.
- Flood risk due to proximity to the River Dane.
- Traffic congestion in Middlewich.
- The application site is a flood plain.
- No further housing should be constructed before the bypass is built.
- The development of the site would jeopardise the Household Waste Recycling Centre.
- Loss of a natural meadow.
- The site is unsuitable for housing.
- The site is well used by residents for walking.
- Traffic problems when there is an accident on the M6.
- Increasing the number of cars will increase the risk of traffic accidents.
- Increase in traffic.
- Air pollution.
- 52 houses were too many on this site.

- The site is within the Green Belt.
- The Croxton Lane bridge should be widened and upgraded.
- Croxton Lane cannot support HGV movements including construction traffic.
- The area will be ruined by identical looking houses.
- The countryside should be preserved and not developed.
- A roundabout should be provided to provide safe access.
- The definition of affordable homes should ensure that they are affordable and sold to people who meet criteria (emergency services, single parents, divorced people etc).
- The loss of the layby means that residents cannot enjoy the Croxton trail unless they live in walking distance.
- The housing on Warmingham Lane should be built before further housing commences.
- The proposed access points are dangerous.
- Further detail is required on soil checks and piling.
- It is not appropriate to build affordable homes next to privately owned housing.
- Too many houses are proposed, the development appears crammed.
- Flats and maisonettes are not in keeping with the surrounding area.
- Loss of privacy to 21 Nursery Close.
- Light pollution.
- Concern over the upkeep of the communal areas.
- Concern over the drainage of the site.
- Highways are not maintained – potholes.
- Concern over the monitoring of the construction to ensure compliance with any approved plans.
- When residents purchased dwellings on Nursery Close they were advised that there would be no development on this site.
- Lack of consultation about this application.
- Only Middlewich Councillors should vote on an application.
- Hundreds of houses have been granted permission off Warmingham Lane.
- A roundabout should be constructed at the junction of King Street.
- The recent closure of Croxton Lane has demonstrated how well this road is used.
- The SUDS basin is inadequate.
- There are no local benefits from this development.
- The development should include a play area.
- Harm to wildlife/protected species.
- Harm to the character of the area (including built heritage).
- Brine subsidence concerns.
- There is no need for further housing and no local or national housing shortage.
- Recent traffic accident at Croxton Lane bridge confirms that the road is unsuitable to cope with the additional traffic.
- Until infrastructure is provided, no further applications should be approved.
- There are too many affordable homes in one location.
- Insufficient parking provision.
- Impact upon privacy.

- The design is not appropriate.
- Lack of consultation.
- Increased risk of flooding
- Harm to the setting of the canal.
- Impact upon biodiversity including nesting birds.
- The PROW has not been taken into account.
- Lack of public transport.
- CEC is on the verge of bankruptcy and cannot cope with the additional residents.
- Highway safety/traffic issues during the construction phase.
- Closure of the household recycling centre.
- Difficulty selling existing homes.
- The affordable homes should be sold at a discounted rate.
- Entrance/Exit should be via a signalised crossroads.
- The earlier application should never have been approved.
- Areas of severe traffic congestion have been identified (this excludes the sites at Warmingham Lane and Centurian Way).
- Middlewich requires the construction of 2 bypasses.
- Increasing waiting lists and no capacity to extend the existing GP building.

Letters of general observation have been received from 3 local households which raise the following points:

- If approved the 30mph limit should be extended over the bridge and this would be a benefit to local residents.
- Concern about infrastructure impact.
- Any decision should ensure that residents have access to public transport.
- A S106 contribution should be secured to enhance bus services in Middlewich.

APPRAISAL

Principle of Development

The site lies within the Middlewich Settlement Boundary as defined on the adopted proposals map. Policy PG9 states that 'within settlement boundaries, development proposals (including change of use) will be supported where they are in keeping with the scale, role and function of that settlement and do not conflict with any other relevant policy in the local plan'.

The SADPD also allocates the site for residential development as part of Policy MID1. MID1 allocates the site for residential development and the delivery of around 50 new homes. The development must.

- safeguard and protect, through an undeveloped and open landscaped buffer zone, the existing Trent and Mersey Canal Conservation Area;
- provide an offset from the existing recycling centre and achieve an acceptable level of residential amenity for prospective residents including in terms of noise and disturbance;

- retain existing mature hedgerows around the boundaries of the site as far as possible; and
- provide for improvements to the surface of the canal towpath to encourage its use as a traffic-free route for pedestrians and cyclists between the site and town centre, where this meets the test for planning obligations as set out in the NPPF and CIL Regulations.

In addition to the above the site has an extant planning permission for the erection of 52 houses and this follows the approval of application 21/5436C.

As part of Policy MID1 allocated for 'around 50 dwellings', there is no maximum or minimum identified, some allocated sites deliver more units more than the allocation and some deliver will less. The key issue is whether the proposed number of dwellings can be accommodated acceptably with sufficient offsets to the canal and the recycling centre, and the scheme is compliant with all other relevant policies.

The application proposes 65 dwellings, and the proposed development would have a density of 28.7 dwellings per hectare. Policy HOU14 seeks to provide densities of at least 30 dwellings per hectare. The increase in numbers is largely due to an increase in the number of smaller units and a decrease in larger units within the site.

In terms of Middlewich the CEC Housing Completions and Supply Report with a base date of 31st March 2024 identifies a housing supply in Middlewich (completions, allocations and planning permissions) of 1,858 dwellings. Middlewich is expected to accommodate 1,950 dwellings over the plan period (Policy PG7 of the CELPS).

The principle of residential development on this site is therefore acceptable, the number of dwellings proposed will be assessed below and as part of the planning balance.

Housing Mix

Policy SC4 of the submission version of the CELPS requires that developments provide an appropriate mix of housing (however this does not specify a mix). In this case the development would provide the following mix (the previously approved housing mix is shown in brackets):

- 16 x one bedroom dwellings (4 units)
- 29 x two bedroom dwellings (21 units)
- 18 x three bedroom dwellings (19 units)
- 2 x four bedroom dwellings (8 units)

All dwellings would be two-stories in height, including the apartments.

Policy HOU1 of the SADPD states that housing development should deliver a range and mix of house types, sizes and tenures. All major developments should respond to housing need, and this includes the indicative house types and tenures and sizes identified at Table 8.1.

Whilst the proposals above do not strictly accord with Table 8.1, it is clear that table 8.1 is indicative. The justification to Policy HOU1 states that '*housing developments*

should not be dominated by large dwellings (four or more bedrooms), which are unlikely to meet the majority of the borough's housing needs. The proposal clearly provides a mix of house types which is not dominated by larger homes. The mix is considered to be appropriate.

Policy HOU3 states that all housing developments providing more than 30 homes should provide a proportion of serviced plots where there is evidence of unmet demand. The Council currently has a sufficient supply of self and custom build units as identified within the Council's Annual Monitoring Report so there is no evidence of unmet demand.

Policy HOU8 of the SADPD states that in order to meet the needs of the Borough's residents and to deliver dwellings that are capable of meeting people's changing circumstances over their lifetime, the following accessibility and wheelchair standard will be applied to major developments;

- At least 30% of the dwellings in housing developments should comply with the requirements of M4(2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings; and
- At least 6% of the dwellings in housing developments should comply with the requirement M4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings

The applicant has confirmed that the proposed development would comply with the requirements of M4 (2) house types (30%) and M4 (3) house types (6%). Determining compliance with the accessibility and wheelchair adaptable standards is the role of Building Control, but the proposed development does comply with Policy HOU8. This matter will be controlled via the imposition of planning conditions.

In terms of dwelling sizes, it is noted that HOU8 of the SADPD requires that new housing developments comply with the Nationally Described Space Standards (NDSS). The applicant has provided an assessment which demonstrates that all dwellings across the entire development are NDSS compliant.

Affordable Housing

This is a proposed development of 65 dwellings on the edge of a Key Service Centre therefore in order to meet the Council's Policy on Affordable Housing there is a requirement for 30% of the dwellings (20 units – 13 rented and 7 intermediate tenure) to be provided as affordable homes. The application proposes 100% affordable housing, and they would be split with 50% as affordable/social rent and 50% intermediate tenure.

The supplied Tenure Plan and AHS shows 65 units on the site are to be provided as 33 Rented and 32 Intermediate tenure. This meets the required tenure split under the Policy SC5 and the Housing Supplementary Planning Document (HSPD).

The proposed mix would meet the needs within Middlesbrough and there is no objection to this.

The Councils Affordable Housing Officer has no objection to the application and the viability information confirms that the rented units will be delivered as Social Rent and this is acceptable.

Public Open Space

This layout shows that the proposed development would provide open space to the eastern parcel, with a smaller amount to the northern part of the western parcel. The open space to the eastern parcel would include the provision of a Locally Equipped Area for Play (LEAP). The open space provision on site would meet the requirements of Policy SE6 of the CELPS, and no objection is raised by the Councils POS officer.

Details of the specifications of the LEAP design, natural play elements, artwork and other infrastructure such as seating and planters could be secured via the imposition of a planning condition.

The management of the POS would be secured as part of a management company secured as part of the outline consent.

Outdoor Sport

The proposed development will increase demand on existing facilities and to mitigate this impact a contribution will be required of £1,564.54 per family dwelling and £782.27 per bed space in apartments (up to a maximum of £1,564.54 per apartment). This will be secured via a S106 Agreement and equates to a contribution of £89,178.78.

Public Rights of Way

The eastern parcel of land includes Middlewich FP13 which crosses the site. This would be retained but with a minor diversion which will be dealt with as part of a separate Diversion Order. The footpath would be provided along a landscaped route and would be surfaced within the application site. The impact upon the PROW is considered to be acceptable from a planning perspective. The details of the specification of the footpath, surfacing, widths and street furniture, could be controlled via the imposition of a planning condition.

For the western parcel Middlewich FP14 runs beyond the northern and western boundaries and would not be affected by the proposed development.

It is noted that Policy MID1 of the SADPD requires a contribution to the surface of the canal towpath to encourage a traffic free route for pedestrians and cyclists between the site and the town centre. This is provided that the contribution meets the planning obligation tests set out within the NPPF and the CIL Regulations. In this case it was agreed as part of application 21/5436C that this was not CIL compliant. The towpath is fully surfaced between the site and the town centre as is the only PROW (Middlewich FP13) which runs through the housing estate to the south. No contribution was secured as part of the earlier application 21/5436C.

Education

The proposed development of 49 dwellings (65 dwellings – 16 one bed units) is expected to generate:

- 13 - Primary children
- 7 - Secondary children
- 1 - SEN children

The development is expected to impact on secondary school places in the locality. Contributions which have been negotiated on other developments are factored into the forecasts both in terms of the increased pupil numbers and the increased capacity at secondary schools in the area as a result of agreed financial contributions. The analysis undertaken has identified that a shortfall of secondary school places still remains.

The 7 secondary age children expected from this development will exacerbate the shortfall.

Special Education provision within Cheshire East Council currently has a shortage of places available with at present over 47% of pupils educated outside of the Borough. The 1 child expected from this development will exacerbate the shortfall.

There are no capacity issues at local primary schools.

To alleviate forecast pressures, contribution of £187,019.00 (Secondary) and £74,920.00 (SEN) will be required to mitigate the impact of this development and these contributions will be secured as part of a S106 Agreement.

NHS

The potential impact upon healthcare provision in Middlewich is noted and comments from the NHS states that the patient lists are increasing at Oaklands Medical Practice and Water's Edge Medical Centre. Any new housing development would look to continue to impact on this, and infrastructure provision is a requirement from housing developers in order to safeguard Primary Care facilities and provide a contribution towards to continued required investment.

In order to mitigate the impact of this development a contribution has been requested and this will be secured as part of a S106 Agreement. Based on the formula provided within the NHS consultation response a contribution of £70,202.00 will be required to mitigate the impact of the development.

Residential Amenity

Policy HOU13 of the SADPD includes reference to separation distances as follows.

- 21 metres for typical rear separation distance
- 18 metres for typical frontage separation distance
- 14 metres for a habitable room facing a non-habitable room

Eastern Parcel

The main properties affected by this development are those which front Canalside Way to the south of the site.

No 5 Canalside Way has a blank side elevation the side and there would be a separation distance of 6m to the side elevation of Plot 65 (which has a blank side elevation). This relationship is considered to be acceptable.

No's 7-10 Canalside Way have rear elevations facing north, but there would not be any properties directly facing these properties. The nearest relationship is the corner of plot 53 with a separation distance of 20m. The relationship is considered to be acceptable.

No 13 Canalside Way has a side elevation facing the application site. This property has one window to its side elevation facing the site which serves an en-suite. There would be a separation distance of 14m (at the closest point) to the side of plot 53 which has a blank side elevation. This relationship is considered to be acceptable.

Western Parcel

To the south of the site is a dwelling known as Ashdene which fronts Croxton Lane and dwellings fronting Nursery Close. To the north is a detached dwelling known as The White House.

Ashdene has two ground floor windows (serving a bathroom and a secondary window serving a kitchen) and Juliette Balcony (serving a landing) facing the application site. There would be a separation distance of 5m (at the closest point) to the blank side elevation of plot 5, and although No 5 would project beyond the front elevation there would be no breach of the 45-degree code. The relationship is considered to be acceptable.

To the properties at 7-13 Nursery Close there would be a separation distance of between 21-27m and the relationship is considered to be acceptable. The dwelling at 21 Nursery Close has a bathroom window to the side elevation facing the site with a separation distance of 19m to the rear elevations of plots 12-13. The relationship is considered to be acceptable.

The dwellings at plots 15-22 would be over 25m to the front elevation of The White House. This relationship is considered to be acceptable.

The impact upon surrounding residential amenity is considered to be acceptable and complies with Policies HOU12 and HOU13 of the SADPD.

Noise/Disturbance (including the impact from the recycling centre)

Policy MID1 of the SADPD states that the development must provide an offset from the existing recycling centre and achieve an acceptable level of residential amenity for prospective residents including in terms of noise and disturbance. A buffer would be provided in the form of retained hedgerow, additional landscaping/open space

and an internal access road. This complies with the requirements of the policy and noise the noise impact is considered to be acceptable as assessed below.

The application site is in close proximity to Croxton Lane (A530) and the Middlewich Household Waste Recycling Centre. In support of this application an Acoustic Report has been provided (this is the same report which was submitted as part of application 21/5436C).

The Acoustic Report shows that there is only a 1-2dB difference between ambient noise levels during periods when the Household Waste Recycling Centre was open and the residual noise levels during periods immediately before/after, when it was closed.

Noise levels closest to Croxton Lane require some mitigation measures for private rear gardens closest to Croxton Lane as well as some modest noise reductions adjacent to the Household Waste Recycling Centre. This will take the form of 1.8m acoustic fencing for certain plots.

Subject to noise mitigation measures being secured for the layout proposed as part of this application, there is no objection to this application.

Air Quality

Air quality impacts have been considered within the air quality assessment submitted in support of the application (this is the same report which was submitted as part of application 21/5436C).

The report considers whether the development will result in increased exposure to airborne pollutants, particularly as a result of additional traffic and changes to traffic flows. The assessment uses ADMS Roads to model NO₂, PM₁₀ and PM_{2.5} impacts from additional traffic associated with this development and the cumulative impact of committed development within the area.

The assessment concludes that the impact of the future development on the chosen receptors will be negligible with regards to all the modelled pollutants.

Middlewich has two Air Quality Management Areas, and as such the cumulative impact of developments in the area is likely to make the situation worse, unless managed. It is not considered that the additional 14 units proposed as part of this application would result in any change to these findings.

The Councils Environmental Health Officer has raised no objection to this application and considers that conditions relating to the provision of a travel plan and low emission boilers is necessary to ensure that local air quality is not adversely impacted for existing and future residents.

Contaminated Land

The application is for a proposed use that would be particularly vulnerable to the presence of contamination. Residential developments are a sensitive end use and

could be affected by any contamination present or brought onto the site. This site is within 250m of two known landfill sites or area of ground that has the potential to create gas.

The issue of contaminated land has been considered by the Council's Environmental Health Officer subject to the imposition of planning conditions relating to contaminated land.

In this case it is worth bearing in mind that the previous application 21/5436C was originally deferred for a number of reasons including contaminated land. Additional information was provided as part of application 21/5436C in terms of the contaminated land implications of the development and the Council's Contaminated Land Officer attended the Southern Planning Committee meeting in April 2023. At the April 2023 meeting, the Southern Planning Committee accepted that no significant risks are posed to the proposed development by landfill gas from the former Croxton Lane landfill site adjacent. Further ground investigation is proposed via a planning condition, and the Contaminated Land Officer is in agreement with this proposal. The Contaminated Land Officer has stated that they would expect the comments above to be addressed in part by these future additional investigations and these investigations can be secured via the use of planning conditions. There is no reason to come to a different conclusion as part of this application.

Levels

In the interests of residential amenity, the appearance of the site and drainage, the details of the existing and proposed levels will be controlled via a planning condition.

Highways

The site includes an extant planning permission for 52 dwellings as part of application 21/5436C. This application seeks to increase the number of dwellings within the development to 65 units.

The access to each of the sites is proposed from priority junctions that are staggered on the A530 Croxton Lane (this is the same access solution as approved as part of application 21/5436C). It is proposed that the western access will cross and sever the existing parking lay-by, one side will be closed, and the remainder retained with a turning head provided. This off-site work will be subject of a S278 Agreement with the highway authority, where the design is subject to a technical check and safety audit. Vehicle speeds on Croxton Lane have been measured and there is sufficient visibility available at both proposed access points.

The internal road network on both developments is very similar in terms of layout and highway standards to the previously approved application and does not raise any highway concerns in design terms.

In general, the parking provision conforms to the CELPS standards in that all of the houses have adequate parking spaces each. The maisonettes have 1 space each and as these are a mix of 1 and 2 beds, there is shortfall for the two x 2 bed units (a

total of two spaces). A reason for refusal could not be sustained in relation to this very minor shortfall.

The provision of an additional 13 dwellings above those originally approved as part of application will result in only a minor increase in trips from the site and as such there are no capacity issues associated with the local road network.

The site will require connection to the existing footpath network, and it is proposed to provide new 2m footway connections on both sides of Croxton Lane to the existing paths from the site access points. In addition, the applicant has agreed to widen the existing footway between the site between Meadow View and Finneys Lane, this would be controlled via the imposition of a planning condition.

It is also intended to relocate the 30mph speed limit to a location in advance of the canal bridge, this would help reduce speeds prior to the residential area. Whilst the Croxton Lane crossing point which was secured as part of application 21/5436C will also be secured via a condition.

The development complies with Policy INF3 of the SADPD and policies SD1 and CO2 of the CELPS.

Trees and Hedgerows

The application site benefits from established hedgerows surrounding the perimeter of both areas of existing agricultural land which is proposed for development, with the Croxton Lane boundaries benefiting from established trees on verges to either side of the highway with occasional trees elsewhere around the site. The site is not afforded any statutory protection but is adjacent to, and visible from the Trent & Mersey Canal, Middlewich Kent Green Conservation Area.

The application has been supported by an Arboricultural Impact Assessment and no additional trees are shown to be removed to accommodate the amended development from that approved with 21/5436C.

A Hedgerow assessment has been provided which finds that 3 sections of Hedgerow are 'important' in accordance with the historical criteria of the Hedgerow Regulations 1997. Of those hedgerows demonstrated to be important, some sections of hedgerows will be lost to accommodate vehicular and pedestrian accesses. The position of access points with this application is effectively the same as those already approved in association with approved application 21/5436C. There is subsequently no objection to the hedgerow loss subject mitigation in the form of replacement hedgerows being provided.

The AIA which considers the increased number of dwellings appears to demonstrate that the development could be implemented without further significant tree loss, or any inferior relationship with trees to that already approved. The Landscape Plan suggests that appropriate levels of replacement tree planting have been provided to demonstrate accordance with the requirements of Local Plan Policy SE5. The layout is considered broadly acceptable in terms of trees but should be supported by an Arboricultural Method Statement and Tree protection Plan to be adhered to during

any approved construction period, these details can be secured via planning conditions.

Design

Number of Dwellings/Density

The application proposes 65 dwellings, and the proposed development would have a density of 28.7 dwellings per hectare. Policy HOU14 seeks to provide densities of at least 30 dwellings per hectare. The proposal cannot be considered to be overly dense or an over-development of the site on this basis.

Connections

Each site would have its own access point onto Croxton Lane with connections onto the footpaths. This would provide access toward the services and facilities within Middlewich to the south.

The eastern parcel includes the line of FP13 which would be retained with a minor diversion (as explained above and to be dealt with as part of a Diversion Order). There would be improvements to the servicing and street furniture to the footpath which would be controlled via the imposition of a planning condition.

The Trent and Mersey Canal adjoins the site. The canal is set at a lower level to the application site and there is a mature hedgerow boundary to the eastern parcel of the site. Given these constraints it is not possible to provide a direct access to the canal from each parcel. However, the proposed development will be able to obtain access via Croxton Lane to the north (on both sides) and via FP13 for the eastern parcel.

Facilities and services

The site is allocated for development within the SADPD and it is therefore considered that the has access to facilities and services.

Public transport

There are no bus routes along Croxton Lane, but the site does provide good pedestrian and cycle access towards the town centre and Chester Road (where bus stops/services are located).

Meeting local housing requirements

This is considered to be acceptable, and the proposal would provide a large proportion of smaller homes. The development would not be dominated by larger family dwellings.

Character

Middlewich is located within the Salt & Engineering Towns area and the design cues for this are include the following;

- A wide variety of building styles reflecting different periods in the growth of the towns.
- A predominance of red brick terraces and villas.
- Two-storey properties with steep roofed gables onto the street.
- Boundary walls often constructed from same material as main property.
- Subtle variation in detailing or colour palette creates variation between properties within long terraces.
- Properties often set to back of pavement providing strong enclosure to street.
- Brick of various shades and textures is the main building material.
- All eras of architecture are found within the settlement character area
- Existing landscape features should be retained on site to preserve the landscape character.

There is a variation of house-types adjoin the site. There majority appear to be two-stories in height. Both parcels adjoin recently constructed housing sites. The dwellings in the area predominantly detached and semi-detached, with a mix of hipped and pitched roofs, the material pallet also includes a mix of red brick and render and includes a mix of grey and red tiled roofs. The age of the surrounding dwellings is mixed but is largely post-war in age.

The dwellings in the locality of the site include a number of design features such as projecting gables, bay windows (single storey), porch detailing, window header and sill details, brick banding, ridge tile detailing, and chimneys.

The proposed dwellings would vary in height, but would all be two stories in height with a gabled roof design. The roof heights vary across the development which would add some interest.

The canal area which is located within the eastern part of the eastern parcel includes a lower density to the development where it adjoins the Conservation Area. This area also has a variation in materials with the provision of largely render units. This is considered to be an appropriate design solution.

The remaining part of the site includes largely brick units (although render is introduced at some focal points). Many of the design cues within this location are incorporated into the development with features such as projecting gables, window header and sill details, chimneys, and porch detailing (although all appear to be open porches/canopies).

Details of external materials have been provided and are considered to be acceptable. The boundary treatment details could do with some improvement and would be controlled via the imposition of a planning condition.

Working with the site and its context

The site includes a number of natural features such as trees and hedgerows which are located to the boundaries of the site. There are also trees within the Croxton Lane frontage which are an important feature.

The trees to Croxton Lane would be largely retained with limited losses associated with the formation of the access points. All vegetation to the boundaries of the site would be retained. This helps to soften the visual impact of the proposed development.

The eastern part of the site the shares a close relationship with the Trent and Mersey Canal and the Canal Conservation Area. Whilst the proposed dwellings do not have an active frontage with the canal, they are largely screened by the tall mature hedgerow boundary. The retention of the hedgerow boundary to the canal is important and the relationship is considered to be acceptable.

Creating well defined streets and spaces

The majority of the open space would be to the eastern parcel of the site and would be centrally located and extend to the northern boundary of the site. The proposed dwellings would actively face onto the open space and provide natural surveillance.

A smaller portion would be located to northern boundary of the western parcel and again this would be well overlooked by the dwellings which adjoin this area.

The proposed dwellings would be sited to ensure that they overlook the proposed highway network, the PROW and the open space on the site. The development would use corner-turning units on the corner plots.

Internally within the site the proposed development would be include a mix of car-parking solutions. The car-parking to the front of the proposed dwellings would be within small pockets and would be broken up with landscaping. Parking would also be provided to the side of the dwellings and within small parking courtyards.

In terms of the landscaping within the development this is discussed elsewhere within the report and includes a comprehensive scheme of tree-planting.

Easy to find your way around

The site is well connected internally and it would be easy to navigate throughout the development.

Streets for all

It is considered that the proposed highways design is appropriate and avoids large straight stretches which would encourage speeding. The surfacing materials would be controlled via the imposition of a planning condition.

Car parking

Internally within the site the proposed development would be include a mix of car-parking solutions. The amount of car-parking to the front of the proposed dwellings would be acceptable with the parking also provided to the side/rear of the dwellings and within parking courtyards.

Public and private spaces

The management of the open space and landscape buffers is secured as part of the S106 Agreement.

External storage and amenity space

The submitted plan shows that all units on the proposed development would have private amenity space with rear access. A condition will be imposed to secure cycle storage details for the proposed apartments.

Design Conclusion

On the basis of the above assessment, it is considered that the proposed development represents an acceptable design solution. The development would comply with Polies SE1 and SD2 of the CELPS, GEN1 of the SADPD and the CEC Design Guide.

Built Heritage

The application site adjoins the Trent and Mersey Canal Conservation Area and a mature boundary hedge forms to the boundary to the western parcel. To the eastern parcel the access to the Household Waste Recycling Centre separates the site from the Canal.

Policy MID1 states that the development must safeguard and protect, through an undeveloped and open landscaped buffer zone, the existing Trent and Mersey Canal Conservation Area. The hedgerow buffer would be retained, and the landscape master plans shows that it would be supplemented with additional planting (this would be secured via a condition). The proposal complies with this requirement of MID1.

The development of this site has the potential to impact upon the setting of the Conservation Area. As large stretches of the canal are bordered by mature hedgerow boundaries, it is considered that the proposal would have a neutral impact upon the setting of the Conservation Area. The Councils Built Heritage Officer states that this current application is very similar in terms of its proximity and buffer to the Canal, and as such she is not in a position to object to this current application. This is subject to the imposition of planning conditions relating to materials, landscaping and fenestration details.

Archaeology

The information held on the Cheshire Historic Environment Records highlight a number of items that have been recovered from the proposed development area and the area surrounding the proposed development. These items include a copper alloy annulet from the 17th century and musket ball and powder measure, both recovered from within the proposed development area.

A map regression exercise indicates that there has been very little in the way of landscape alterations in the area of the proposed development, suggesting that there is a high likelihood of potential casual loss artefacts.

The archaeological potential and interest of the site is not sufficient to justify an archaeological objection to the development or to generate a requirement for further predetermination evaluation. It is recommended, however, that if planning permission is granted the site should be subject to programme of further archaeological mitigation, with the work secured by condition.

Landscape

The impact upon the wider landscape is considered to be acceptable and the site is allocated for residential development within the SADPD.

A Landscape and Visual Impact Assessment (LVIA) was submitted in support of this application. The development site and the area to the north is in the River Valleys Landscape Character Type (LCT) and High Dane Landscape Character Area (LCA) but the area is not within a Local Landscape Designation Area (LLDA). The Assessment concludes:

The proposed development will create an extension to the existing settlement of Middlewich, introducing new elements that may have localised landscape impacts and visual effects. These changes will be particularly noticeable for residential properties immediately adjacent to the site and from locations on rising ground to the north. However, after consideration of the revised layout in December 2023, the overall development impacts on the landscape are expected to remain unchanged. The new layout seeks to also mitigate any potential adverse effects, ensuring that the scenic qualities and natural environment of the area are preserved. In conclusion, the development will create no notable landscape effects and only a small number of notable visual effects, all restricted to a very localised area.

The application has been considered by the Councils Landscape Officer who has confirmed that she has no objection to this application subject to the imposition of planning conditions.

Ecology

Statutory Designations

The application site falls within the Natural England Site of Special Scientific Interest (SSSI) Impact Risk Zones. In this case Natural England have been consulted and stated that they consider that the proposed development will not have a significant adverse impact upon the Sandbach Flashes SSSI and no objection is raised.

Hedgerows

Native hedgerow is a priority habitat and hence a material consideration. The proposed access points will result in the loss of section of hedgerow (this was accepted as part of the extant planning permission). Compensatory planting must be

provided for any hedgerows unavoidable lost. Whether sufficient compensatory planting is being proposed can be assessed through the application of the biodiversity metric discussed below, which does show that the proposed development would result in a net gain in respect of hedgerows.

Great Crested Newts

The Councils Ecologist advises that this protected species is not reasonable likely to be present or affected by the proposed development.

Nesting Birds

The habitats on site are likely to be used by nesting birds including more widespread priority species, if the planning application is approved a condition can be imposed in relation to nesting birds.

Hedgehogs

The submitted ecological assessment advises that this priority species may occur on site. The habitats on site are however of relatively low value for this species. The submitted ecological assessment includes a suite of reasonable avoidance measures designed to minimise the risk of this species being harmed during the construction process. If the application is approved these details can be secured via the use of a condition.

Trent and Mersey Canal

The canal is located immediately to the north of the application site. In order to safeguard the canal during the construction process a condition can be imposed which requires the submission of a CEMP which includes pollution control measures.

Lighting

Whilst the application site offers limited opportunities for roosting bats, bats are likely to commute and forage around the site to some extent. To avoid any adverse impacts on bats resulting from any lighting associated with the development a standard lighting condition could be imposed.

Ecological Network and Biodiversity Net Gain

The application site falls within Restoration Area of the CEC Ecological Network. SADPD Policy ENV1 applies to the determination of the application.

Local Plan Policy SE 3(5) requires all developments to aim to positively contribute to the conservation of biodiversity and ENV2 requires developments to achieve a Biodiversity Net Gain. The applicant has submitted a report of a biodiversity metric calculation undertaken to assess the losses/gains of biodiversity resulting from the proposed development. The biodiversity metric shows that the proposed development would result in a biodiversity net gain.

If this planning application is approved a condition can be imposed in relation to BNG.

The application is supported by proposals for the incorporation of bat and bird boxes. These details can be secured via the imposition of a planning condition.

Climate Change

Policy ENV7 of the SADPD requires that all 'major' residential development schemes should provide for at least 10% of their energy needs from renewable or low carbon energy generation on site unless the applicant can clearly demonstrate that having regard to the type of development and its design, this is not feasible or viable. This could be controlled via the imposition of a planning condition.

Brine Subsidence

The concerns raised in terms of brine subsidence are noted. In this case the Brine Board have considered that application and have stated that the site is within an area which has previously been affected by brine subsidence. The Brine Board have suggested a number of precautions in terms of the build design of the proposed development such as foundation design, service design and superstructure design.

The matter of brine subsidence will be dealt with at the Building Regulations stage when the foundation design etc is developed and obtains approval.

An informative will be added to the decision notice, to advise the applicant of the Brine Boards concerns.

Flood Risk

The application site is located within Flood Zone 1 (low probability of river/tidal flooding) according to the Environment Agency Flood Maps. A Flood Risk Assessment (FRA) was submitted as part of the outline application.

In terms of the drainage solution infiltration would not be appropriate for this site and the drainage layout shows that surface water would connect to the Trent & Mersey Canal. The Canal and Rivers Trust have accepted this subject to compliance with their conditions, this includes that runoff is limited to a greenfield rate for both sides of the development. Attenuation would be provided in the form of a SuDS basin for the eastern parcel and an underground attenuation tank for the western parcel. Flow controls will restrict the discharge rates.

Foul drainage will connect to an existing foul sewer crossing the site. This sewer will require a diversion under a S185 Agreement with United Utilities.

The application has been considered by the Council's Flood Risk Officer, United Utilities and the Canal and River Trust, who have all raised no objection to the proposed development. As a result, the development is considered to be acceptable in terms of its flood risk/drainage implications.

CIL Compliance

In order to comply with the Community Infrastructure Regulations 2010, it is necessary for planning applications with planning obligations to consider the issue of whether the requirements within the S106 satisfy the following:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

The development would result in increased demand for education provision in Middlewich where there is limited spare capacity. In order to increase capacity of the local schools which would support the proposed development, a contribution towards education provision is required. This is considered to be necessary and fair and reasonable in relation to the development.

The development would result in increased demand for health care provision in Middlewich where there is limited spare capacity. In order to increase capacity of the NHS provision which would support the proposed development, a contribution towards healthcare provision is required. This is considered to be necessary and fair and reasonable in relation to the development.

The development would provide on-site POS and the site is in an area of the Borough where there is a shortfall in provision and would require outdoor sport mitigation in accordance with Policies within the CELPS. This is considered to be necessary and fair and reasonable in relation to the development.

The site would provide open space and this will not be adopted by the Council. In order to secure maintenance of this open space a management scheme will be required.

On this basis the S106, recommendation is compliant with the CIL Regulations 2010.

PLANNING BALANCE

The principle of development is considered to be acceptable, and the site is allocated for development within Policy MID1 of the SADPD.

The development will not have a detrimental impact upon residential amenity and would comply with Policies HOU12 and HOU13 of the SADPD.

The design of the proposed development has been the subject of revised plans and is now of an acceptable design. The design complies with Policies SE1, SD1 and SD2 of the CELPS, the CEC Design Guide and GEN1 of the SADPD.

The proposal would have neutral impact upon the setting of the adjacent Conservation Area and the proposal complies with policies SE7 of the CELPS, and HER1 and HER3 of the SADPD. The impact upon archaeology could be mitigated via the imposition of a planning condition.

In terms of the POS/LEAP, this is considered to be acceptable and would be secured via the completion of a S106 Agreement.

An acceptable landscaping scheme could be secured via the imposition of a planning condition and the development is acceptable in terms of its impact upon ecology. The proposal would comply with Policies SE1, SE3, SE4, SE5, and SE6 of the CELPS, and policies ENV3, EN5 and ENV6 of the SADPD.

The impact upon the trees and hedgerows on the site is considered to be acceptable and complies with Policy ENV6 of the SADPD and SE5 of the SADPD.

The drainage/flood risk implications for this proposed development are considered to be acceptable and the development would comply with policies SE13 of the CELPS and ENV16 of the SADPD.

The proposed access points and the traffic impact are considered to be acceptable. The internal design of the highway layout and parking provision is considered to be acceptable and complies with Policies SD1, SD2, CO2 and SE1 of the CELPS and policy INF3 of the SADPD.

The concerns regarding brine subsidence are noted, but this issue will be resolved at the Building Regulations stage.

The development complies with the Development Plan as a whole and is recommended for approval.

RECOMMENDATION:

APPROVE to the completion of a S106 Agreement with the following Heads of Terms

S106	Amount	Triggers
Affordable Housing	100% affordable housing (33 units rented and 32 units as intermediate tenure).	In accordance with details to be submitted and approved.
Amenity Green Space and Play Provision	On site provision of Open Space and a LEAP. Scheme of Management to be submitted and approved	Shall be provided on the eastern parcel before first occupation. Shall be provided on the western parcel before first occupation.
Outdoor Sports Contribution	£89,178.78	To be paid prior to the occupation of the 15 th dwelling
NHS	£70,202	To be paid prior to the first occupation of the 30 th dwelling
Education	£187,019.00 (Secondary) £74,920.00 (SEN)	Secondary to be provided prior to first occupation SEN to be paid prior to the

		first occupation of the 30 th dwelling
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and the following conditions;

1. Standard time 3 years
2. Approved plans
3. Noise mitigation measures
4. PROW details of the specification of the footpath, surfacing, widths and street furniture.
5. Low emission boiler provision
6. Electric Vehicle Charging provision
7. Contaminated Land Assessment to be submitted and approved
8. Contaminated Land Verification Report
9. Contaminated Land Importation of Soil
10. Unexpected contamination
11. Oil interceptors to be provided
12. Compliance with the submitted drainage strategy
13. Land levels to be submitted and approved
14. Arboricultural Method Statement and Tree protection Plan to be submitted and approved
15. Submission and approval of hedgerow protection measures
16. Materials compliance with the submitted details
17. Boundary treatment to be submitted and approved.
18. Fenestration details including window reveal to be submitted and approved
19. Archaeology details to be submitted and approved
20. Breeding birds – timing of works
21. Hedgehogs – Reasonable avoidance measures
22. Lighting details to be submitted and approved
23. Submission and implementation of CEMP including pollution control measures in respect of the canal
24. Ecological Enhancements to be submitted and approved
25. Submission and implementation of habitat creation method statement and 30 year management and monitoring plan.
26. Bat and Bird Box details to be provided
27. 10% of energy needs to be from renewable or low carbon energy
28. Prior to the commencement of development, a timetable for the implementation of the highway works shall be submitted to the LPA for approval in writing. The development shall comply with the approved timetable.
29. Prior to the commencement of development, a scheme to widen the existing footway between the site between Meadow View and Finneys Lane to be submitted and approved.
30. Bin/Cycle storage details for the proposed apartments
31. Landscaping to be submitted
32. Landscaping to be completed
33. Hard surfacing details to be submitted and approved.

34. Details of the specifications of the LEAP design, natural play elements, artwork and other infrastructure such as seating and planters to be submitted and approved.
35. At least 30% of the dwellings in housing developments should comply with the requirements of M4(2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings.
36. At least 6% of the dwellings in housing developments should comply with the requirement m4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings.

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions/informatives/planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chair of the Southern Planning Committee, provided that the changes do not exceed the substantive nature of the Committee's decision.

In the event of an appeal, agreement is given to enter into a S106 Agreement with the following Heads of Terms:

S106	Amount	Triggers
Affordable Housing	100% affordable housing (33 units rented and 32 units as intermediate tenure).	In accordance with details to be submitted and approved.
Amenity Green Space and Play Provision	On site provision of Open Space and a LEAP. Scheme of Management to be submitted and approved	Shall be provided on the eastern parcel before first occupation. Shall be provided on the western parcel before first occupation.
Outdoor Sports Contribution	£89,178.78	To be paid prior to the occupation of the 15 th dwelling
NHS	£70,202	To be paid prior to the first occupation of the 30 th dwelling
Education	£187,019.00 (Secondary) £74,920.00 (SEN)	Secondary to be provided prior to first occupation SEN to be paid prior to the first occupation of the 30 th dwelling



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23/4559C

Land East & West Of Croxton
Lane, Middlewich

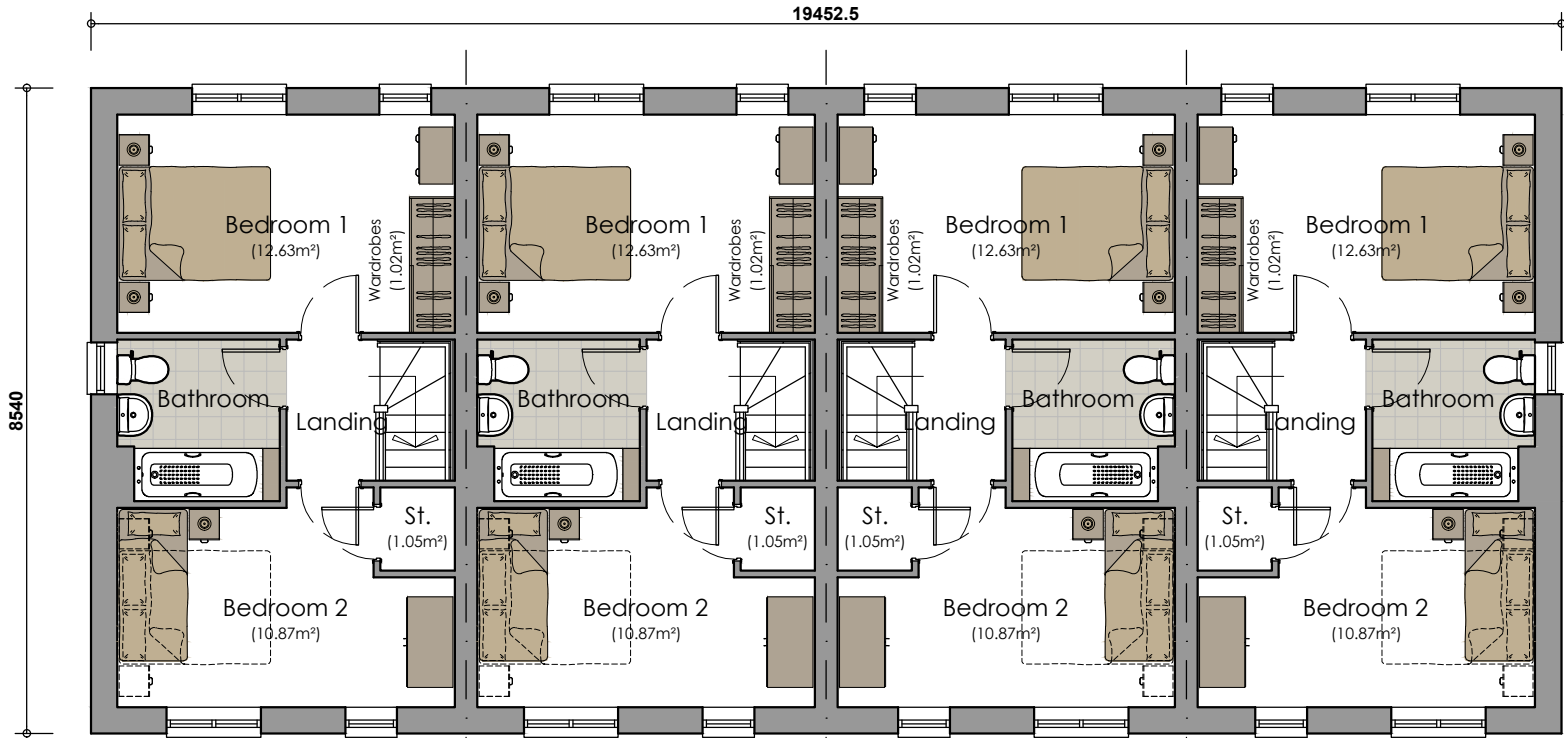
2B3P 70 - Terrace of 04 (AS/AS/OPP/OPP) - 2 Bedroom 3 Person House Type (70m²)
NDSS Compliant



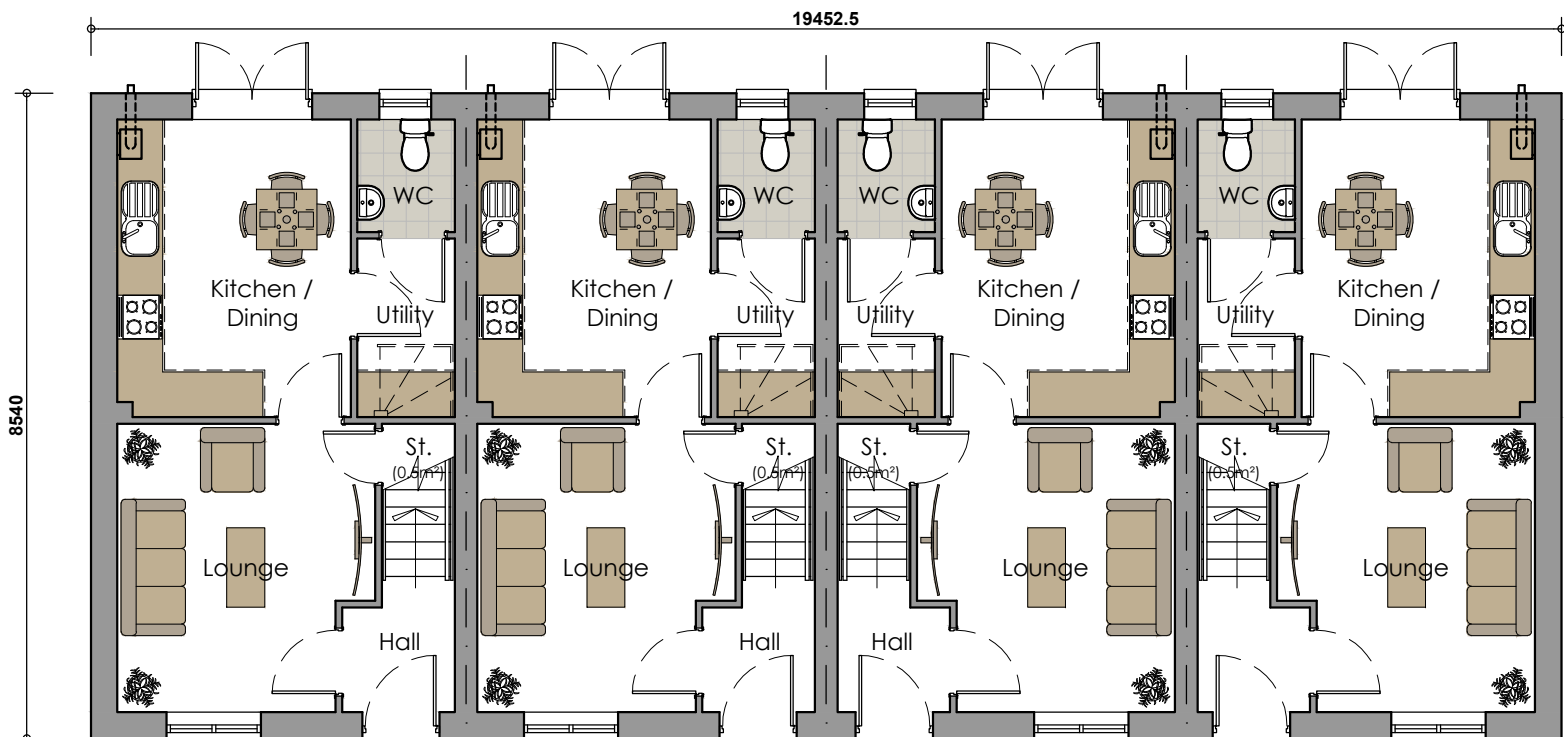
2B3P 70 (AS) Plot No.05
2B3P 70 (AS) Plot No.04
2B3P 70 (OPP) Plot No.03
2B3P 70 (OPP) Plot No.02
FRONT ELEVATION - Terrace of 04



2B3P 70 (OPP) Plot No.02
2B3P 70 (OPP) Plot No.03
2B3P 70 (AS) Plot No.04
2B3P 70 (AS) Plot No.05
REAR ELEVATION - Terrace of 04



2B3P 70 (AS) Plot No.05
2B3P 70 (AS) Plot No.04
2B3P 70 (OPP) Plot No.03
2B3P 70 (OPP) Plot No.02
FIRST FLOOR PLAN - Terrace of 04



2B3P 70 (AS) Plot No.05
2B3P 70 (AS) Plot No.04
2B3P 70 (OPP) Plot No.03
2B3P 70 (OPP) Plot No.02
GROUND FLOOR PLAN - Terrace of 04




2B3P 70 (OPP) Plot No.02
SIDE ELEVATION - Terrace of 04



2B3P 70 (AS) Plot No.05
SIDE ELEVATION - Terrace of 04

NDSS Compliance Schedule				
Type:	2 Bed 3 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	70m²	Actual GIA:	70m²	
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	4.41m x 2.86m	11.5m²	12.63m²
Bedroom 2	2.15m x 2.15m	4.41m x 2.61m	7.5m²	10.87m²
Storage:				
Name:	Area:			
GF Store	0.5m²			
1F Store	1.05m²			
Bed 1 Robes	1.02m²			
Total:	2.57m²			
NDSS:	2.0m²			

Plot No's 02-05

A	08.11.24	DH	Amended to client comments.	-	-
REV	DATE	DRAWN	DESCRIPTION	ARCH CHECK	ENG CHECK
TITLE					
2 BED 3 PERSON HOUSE TYPE (70m²)					
TERRACE OF 04 - NDSS COMPLIANT					
PROPOSED FLOOR PLANS & ELEVATIONS					
<div><div>Breck Homes 20 Sceptre Court Bamber Bridge Preston PR5 6AW tel: 01253 587 010 web: www.breck.co.uk/homes hello@breck.co.uk</div></div>					
PROJECT: CROXTON LANE, MIDDLEWICH					
DATE:	SCALE:	JOB REF:	DRAWING NUMBER:	REV:	
AUG.24	1:100 @ A2	-	P10 - Croxtan Lane / Plots No's 02,03,04 & 05	A	

2B4P 79 Aspect (OPP) & 3B4P 84 (AS) - Semi-Detached - NDSS Compliant

2B3P 79 Aspect - 2 Bedroom 4 Person House Type (79m²)
3B4P 84 - 3 Bedroom 4 Person House Type (84m²)



3B4P 84 (AS)
Plot No.25

2B4P 79 (OPP)
Plot No.26

FRONT ELEVATION - Semi-Detached



3B4P 84 (OPP)
Plot No.26

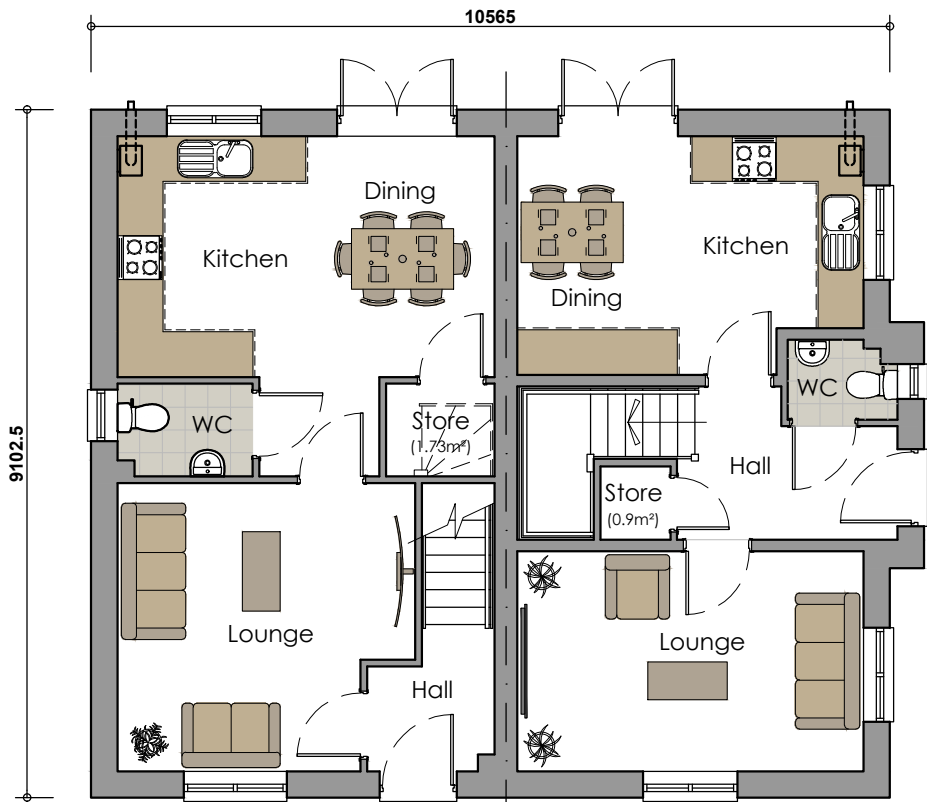
3B4P 84 (AS)
Plot No.25

REAR ELEVATION - Semi-Detached



2B4P 79 Aspect (OPP)
Plot No.26

FRONT ELEVATION - Semi-Detached

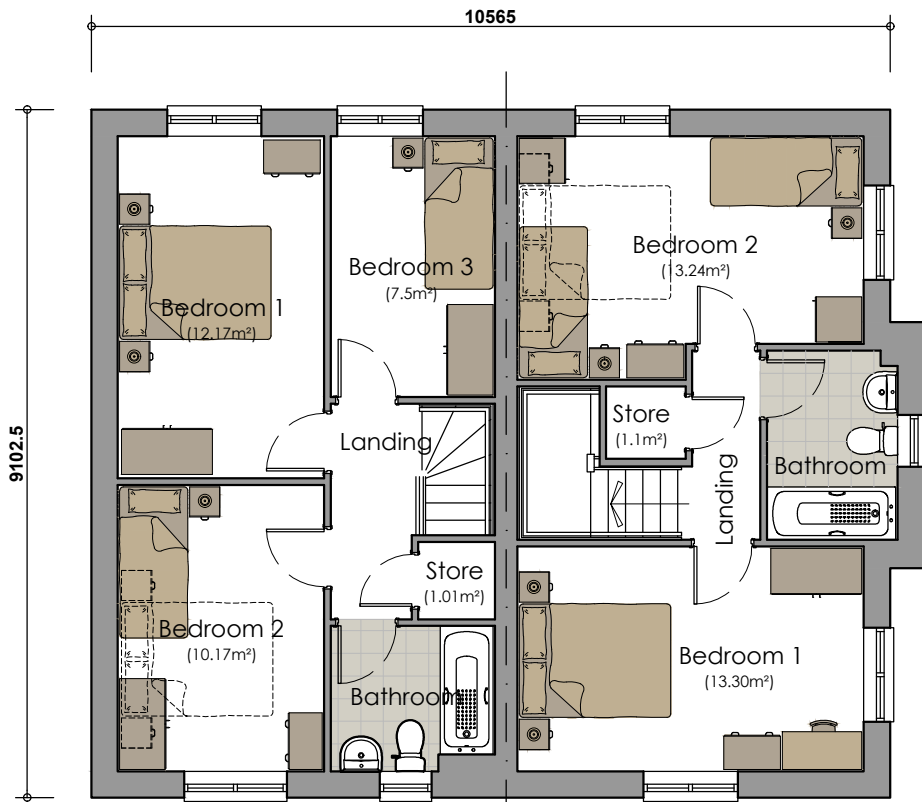


3B4P 84 (AS)
Plot No.25

2B4P 79 (OPP)
Plot No.26

GROUND FLOOR PLAN - Semi-Detached

NDSS Compliance Schedule				
Type:	3 Bed 4 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	84m²		Actual GIA:	84m²
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	2.75m x 4.50m	11.5m²	12.17m²
Bedroom 2	2.15m x 2.15m	2.75m x 3.76m	7.5m²	10.17m²
Bedroom 3	2.15m x 2.15m	2.15m x 3.42m	7.5m²	7.5m²
Storage:				
Name:	Area:			
GF Store	1.73m²			
1F Store	1.01m²			
Total:	2.74m²			
NDSS:	2.5m²			

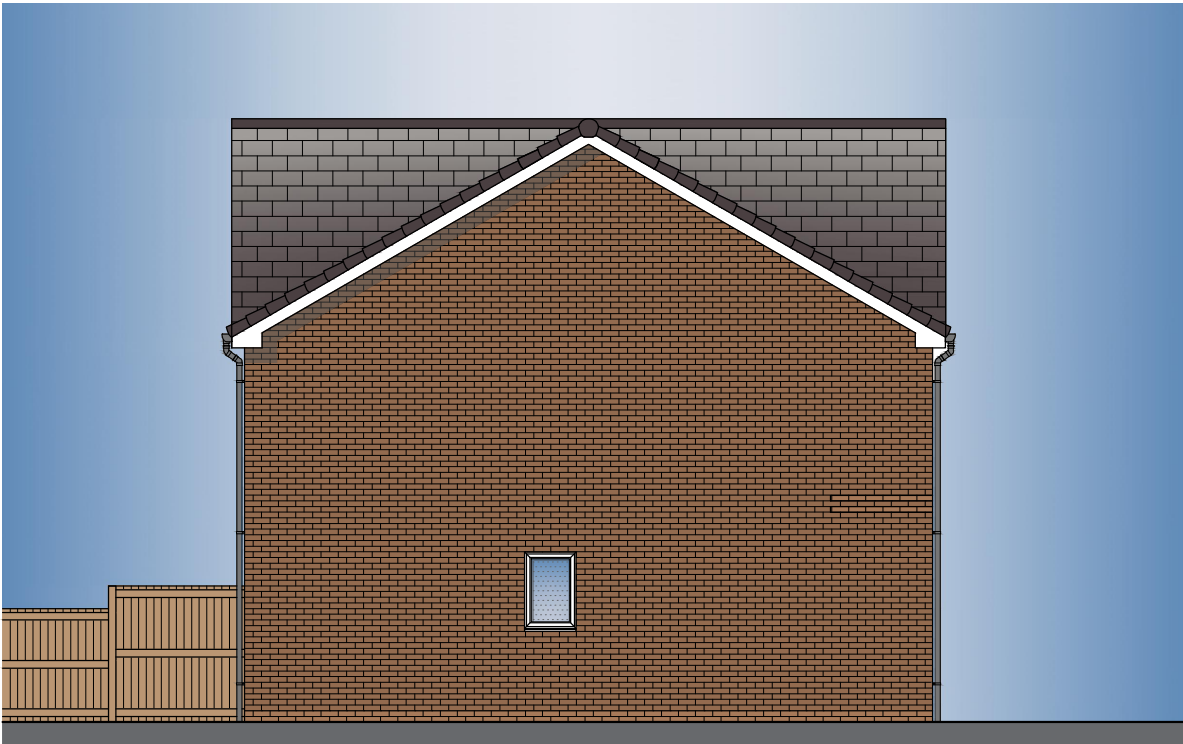


3B4P 84 (AS)
Plot No.25

2B4P 79 (OPP)
Plot No.26

FIRST FLOOR PLAN - Semi-Detached

NDSS Compliance Schedule				
Type:	2 Bed 3 Person Aspect House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	79m ²	Actual GIA:	79m ²	
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	2.9m x 4.5m	11.5m ²	13.6m ²
Bedroom 2	2.55m x 2.55m	3.2m x 4.5m	11.5m ²	13.6m ²
Storage:				
Name:	Area:			
GF Store	0.9m ²			
1F Store	1.1m ²			
Total:	2.0m ²			
NDSS:	2.0m ²			



3B4P 84 (AS)
Plot No.25

SIDE ELEVATION - Semi-Detached

Plot No's 25 & 26

A	08.11.24	DH	Amended to client comments.	-	-
REV	DATE	DRAWN	DESCRIPTION	ARCH CHECK	ENG CHECK
TITLE: 2 BED 4 PERSON ASPECT HOUSE TYPE (79m²) 3 BED 4 PERSON HOUSE TYPE (84m²) NDSS COMPLIANT					
PROJECT: CROXTON LANE, MIDDLEWICH			Breck Homes 20 Sceptre Court Bamber Bridge Preston PR5 6AW tel: 01253 587 010 web: www.breck.co.uk/homes hello@breck.co.uk		
DATE: AUG.24	SCALE: 1:100 @ A2	JOB REF: -	DRAWING NUMBER: P16 - Croxton Lane / Plot No's 25 & 26	REV: A	

2B4P 79 Aspect (AS) & 3B4P 84 (AS) - Terrace of 03
NDSS Compliant



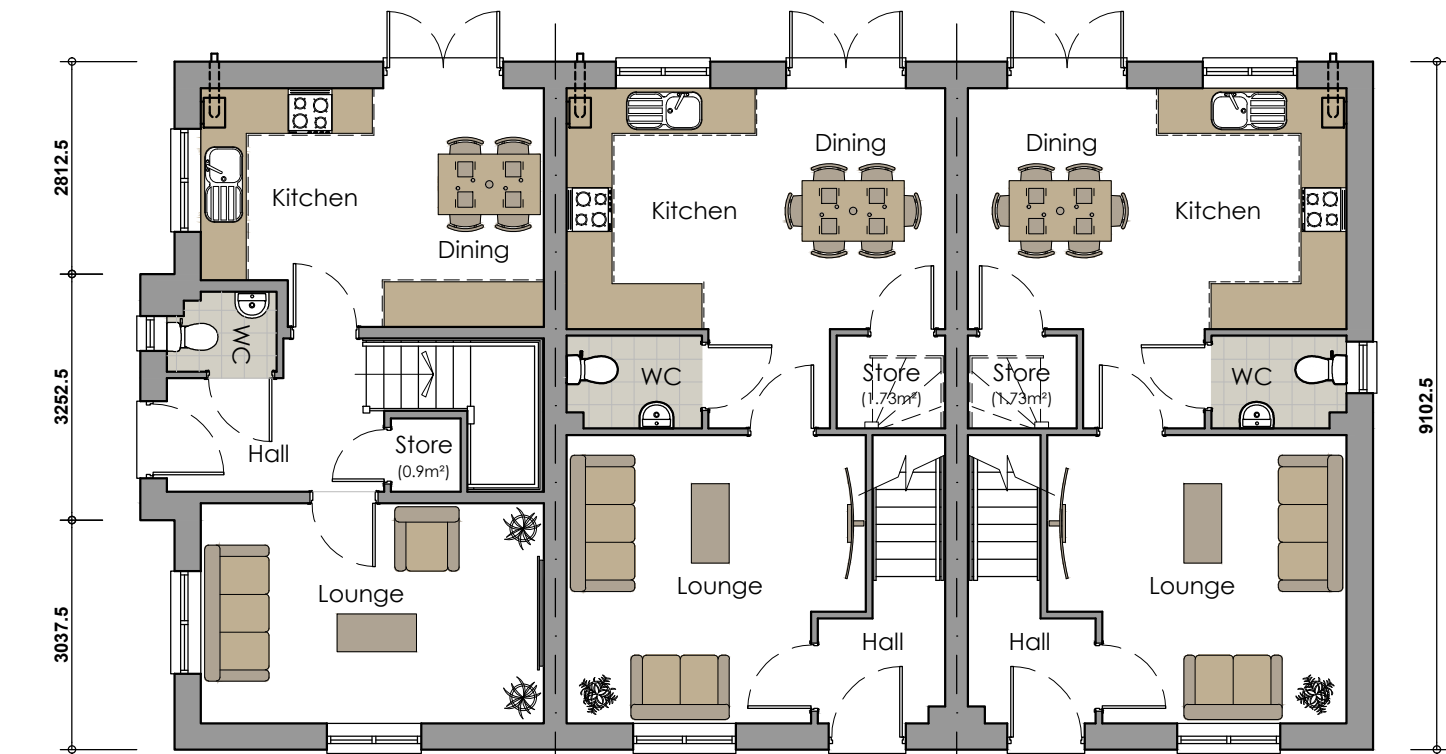
2B4P 79 Aspect (AS)
Plot No.34
3B4P 84 (AS)
Plot No.35
3B4P 84 (OPP)
Plot No.36
GROUND FLOOR PLAN - Terrace of 03



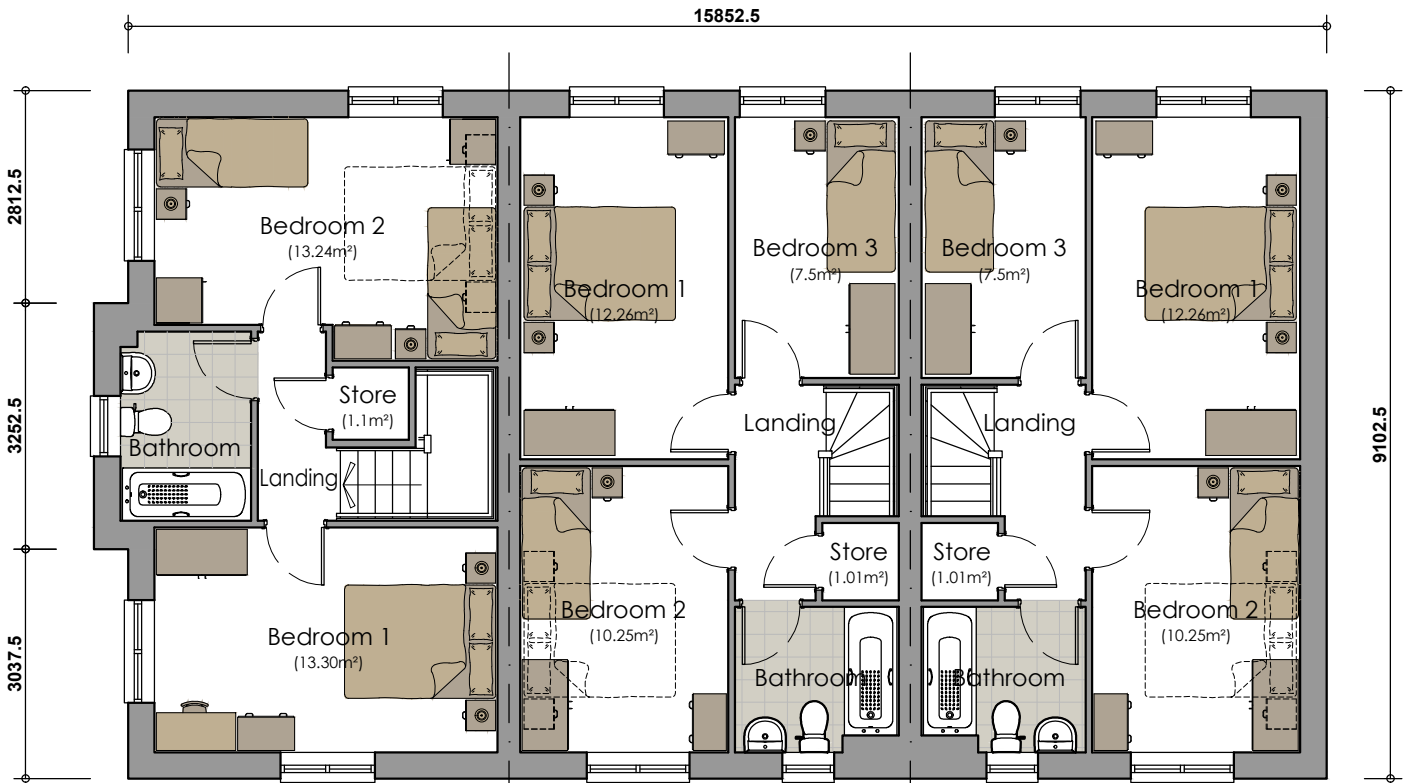
3B4P 84 (OPP)
Plot No.36
3B4P 84 (AS)
Plot No.35
2B4P 79 Aspect (AS)
Plot No.34
REAR ELEVATION - Terrace of 03



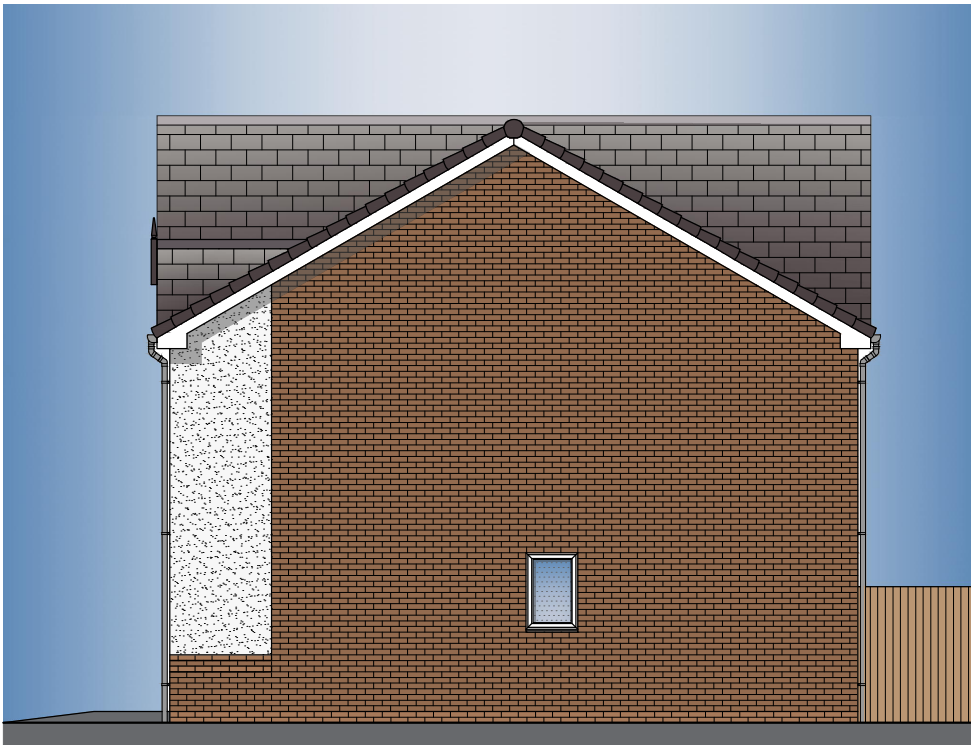
2B4P 79 Aspect (OPP)
Plot No.34
FRONT ELEVATION



2B4P 79 Aspect (AS)
Plot No.34
3B4P 84 (AS)
Plot No.35
3B4P 84 (OPP)
Plot No.36
GROUND FLOOR PLAN - Terrace of 03



2B4P 79 Aspect (AS)
Plot No.34
3B4P 84 (AS)
Plot No.35
3B4P 84 (OPP)
Plot No.36
FIRST FLOOR PLAN - Terrace of 03




3B4P 84 (OPP)
Plot No.36
SIDE ELEVATION

Plot No's 34, 35 & 36

NDSS Compliance Schedule				
Type:	3 Bed 4 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	84m²		Actual GIA:	84m²
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	2.75m x 4.5m	11.5m²	12.26m²
Bedroom 2	2.15m x 2.15m	2.75m x 3.7m	7.5m²	10.25m²
Bedroom 3	2.15m x 2.15m	2.2m x 3.4m	7.5m²	7.5m²
Storage:				
Name:	Area:			
GF Store 1	1.73m²			
1F Store	1.01m²			
Total:	2.74m²			
NDSS:	2.5m²			

NDSS Compliance Schedule				
Type:	2 Bed 4 Person Aspect House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	79m ²	Actual GIA:	79m ²	
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	2.9m x 4.5m	11.5m ²	13.6m ²
Bedroom 2	2.55m x 2.55m	3.2m x 4.5m	11.5m ²	13.6m ²
Storage:				
Name:	Area:			
GF Store	0.9m ²			
1F Store	1.1m ²			
Total:	2.0m ²			
NDSS:	2.0m ²			

B A	08.11.24 SEPT.24	DH SHW	Amended to client comments. PLOT NUMBERS UPDATED TO SUIT LATEST LAYOUT			-	-
REV	DATE	DRAWN	DESCRIPTION			ARCH CHECK	ENG CHECK
TITLE: 2 BED 4 PERSON ASPECT HOUSE TYPE (79m²) 3 BED 4 PERSON HOUSE TYPE (84m²) TERRACE OF 03 - NDSS COMPLIANT							
			Breck Homes 20 Sceptre Court Bamber Bridge Preston PR5 6AW tel: 01253 587 010 web: www.breck.co.uk/homes hello@breck.co.uk				
PROJECT: CROXTON LANE, MIDDLEWICH							
DATE: AUG.24	SCALE: 1:100 @ A2	JOB REF: -	DRAWING NUMBER: P20 - Croxton Lane / Plot No's 34,35 & 36			REV: B	

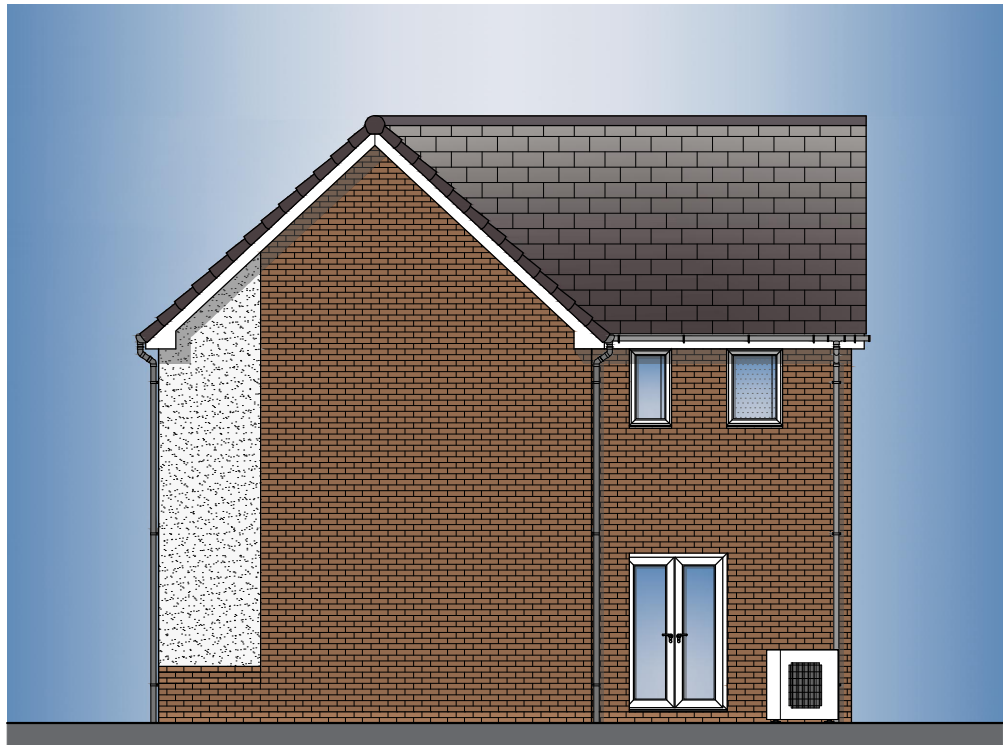
3B6P 107 Corner Turner - Detached - NDSS Compliant



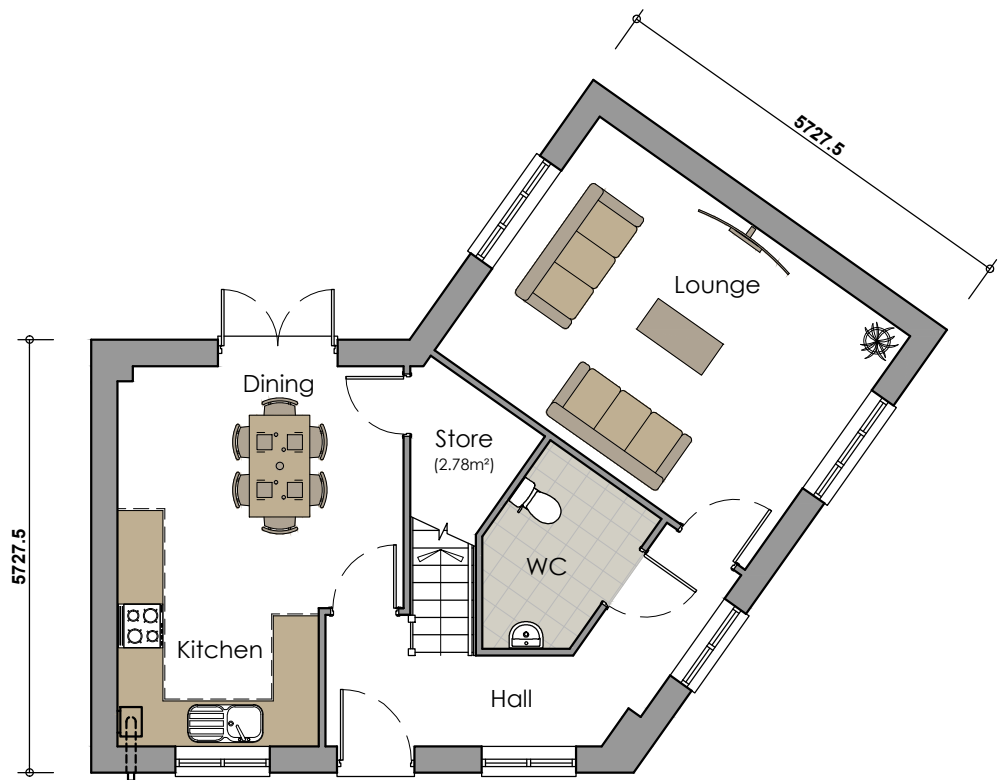
3B6P 107 Corner Turner
Plot No. 46
FRONT ELEVATION - Detached



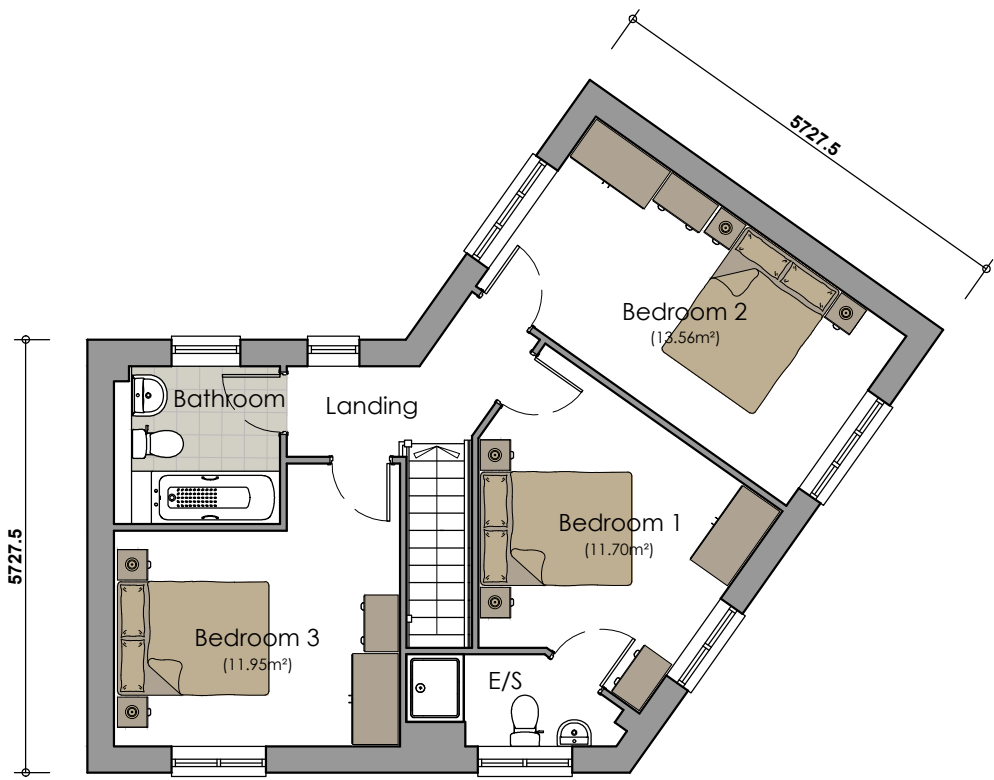
3B6P 107 Corner Turner
Plot No. 46
REAR ELEVATION - Detached



3B6P 107 Corner Turner
Plot No. 46
SIDE ELEVATION - Detached



3B6P 107 Corner Turner
Plot No. 46
GROUND FLOOR PLAN - Detached




3B6P 107 Corner Turner
Plot No. 46
FIRST FLOOR PLAN - Detached



3B6P 107 Corner Turner
Plot No. 46
SIDE ELEVATION - Detached

NDSS Compliance Schedule				
Type:	3 Bed 6 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	102m ²		Actual GIA:	107m ²
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	3.27m x 3.81m	11.5m ²	11.70m ²
Bedroom 2	2.55m x 2.55m	2.75m x 5.02m	11.5m ²	13.56m ²
Bedroom 3	2.55m x 2.55m	3.78m x 2.85m	11.5m ²	11.95m ²
Storage:				
Name:	Area:			
GF Store 1	2.78m ²			
Total:	2.78m ²			
NDSS:	2.5m ²			

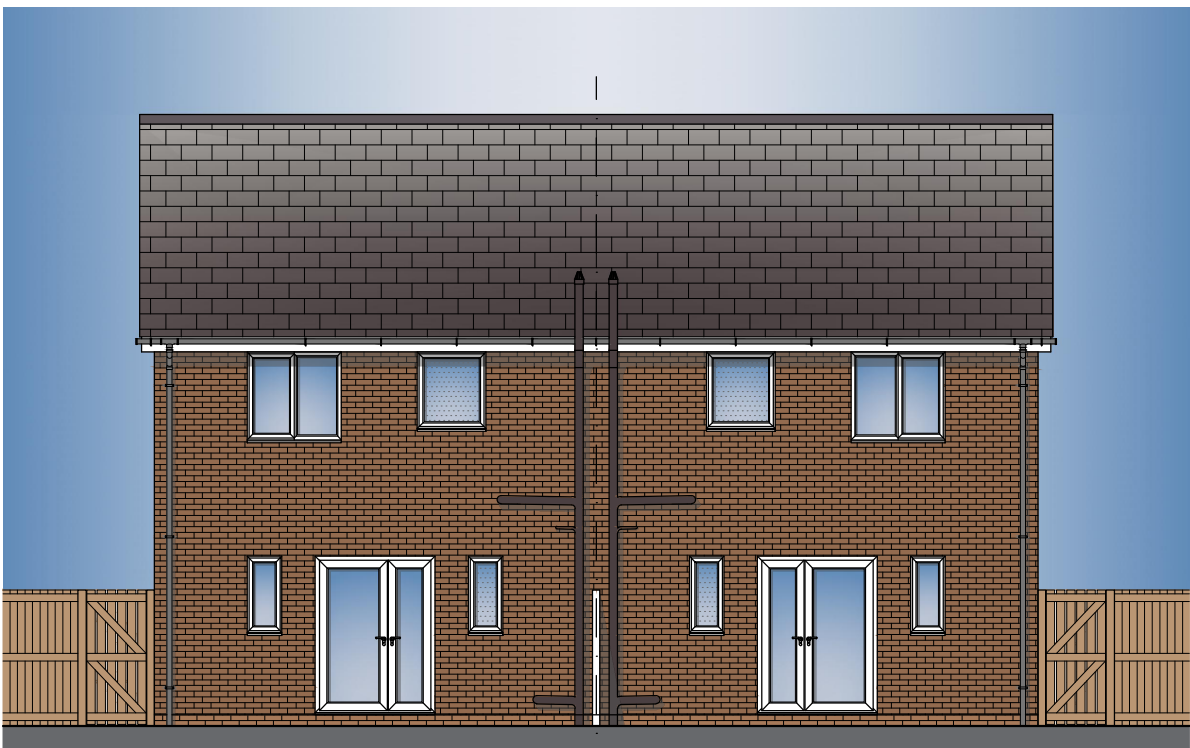
Plot No.46

B A	08.11.24 SEPT.24	DH SHW	Amended to client comments. PLOT NUMBERS UPDATED TO SUIT LATEST LAYOUT			-	-
REV	DATE	DRAWN	DESCRIPTION			ARCH CHECK	ENG CHECK
TITLE: 3 BED 6 PERSON CORNER TURNER HOUSE TYPE (107m²) NDSS COMPLIANT PROPOSED FLOOR PLANS & ELEVATIONS							
			Breck Homes 20 Sceptre Court Bamber Bridge Preston PR5 6AW tel: 01253 587 010 web: www.breck.co.uk/homes hello@breck.co.uk				
PROJECT: CROXTON LANE, MIDDLEWICH							
DATE: AUG.24	SCALE: 1:100 @ A2	JOB REF: -	DRAWING NUMBER: P25 - Croxton Lane / Plot No.46			REV: B	

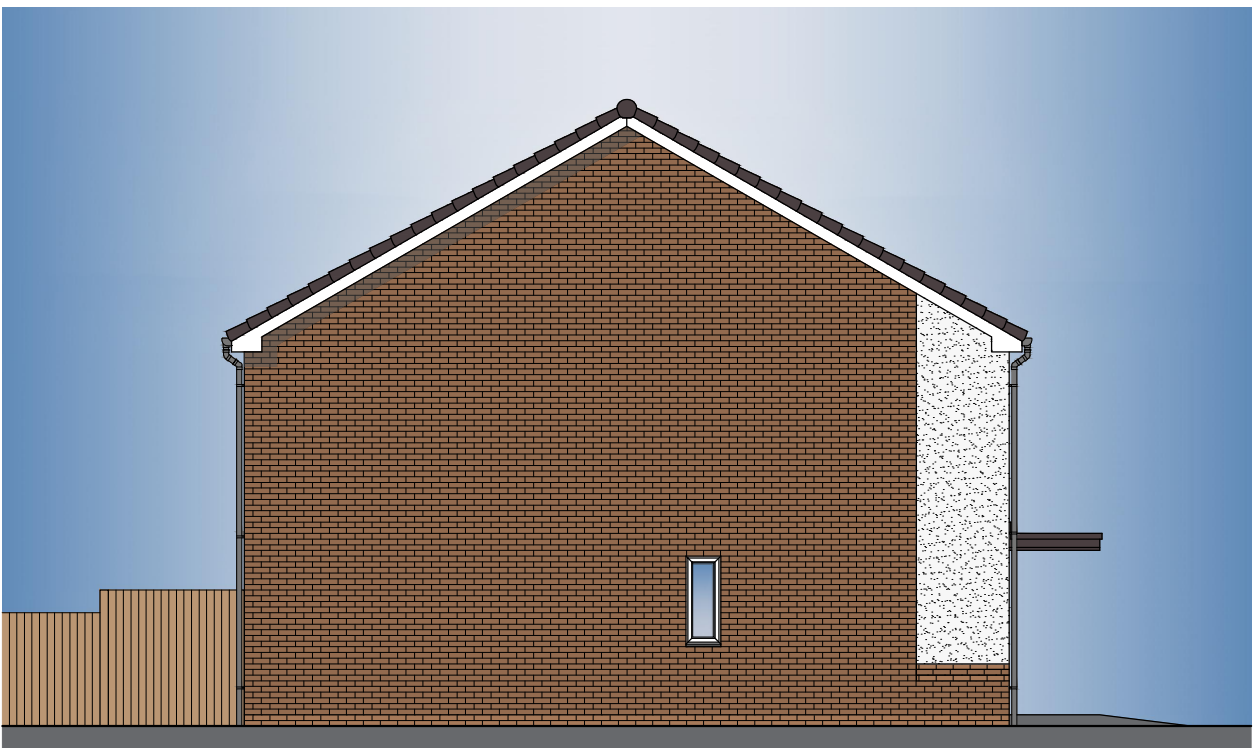
2B3P 93 - Semi-Detached - M4(3)/(2a)- 2 Bedroom 3 Person House Type (93m²)



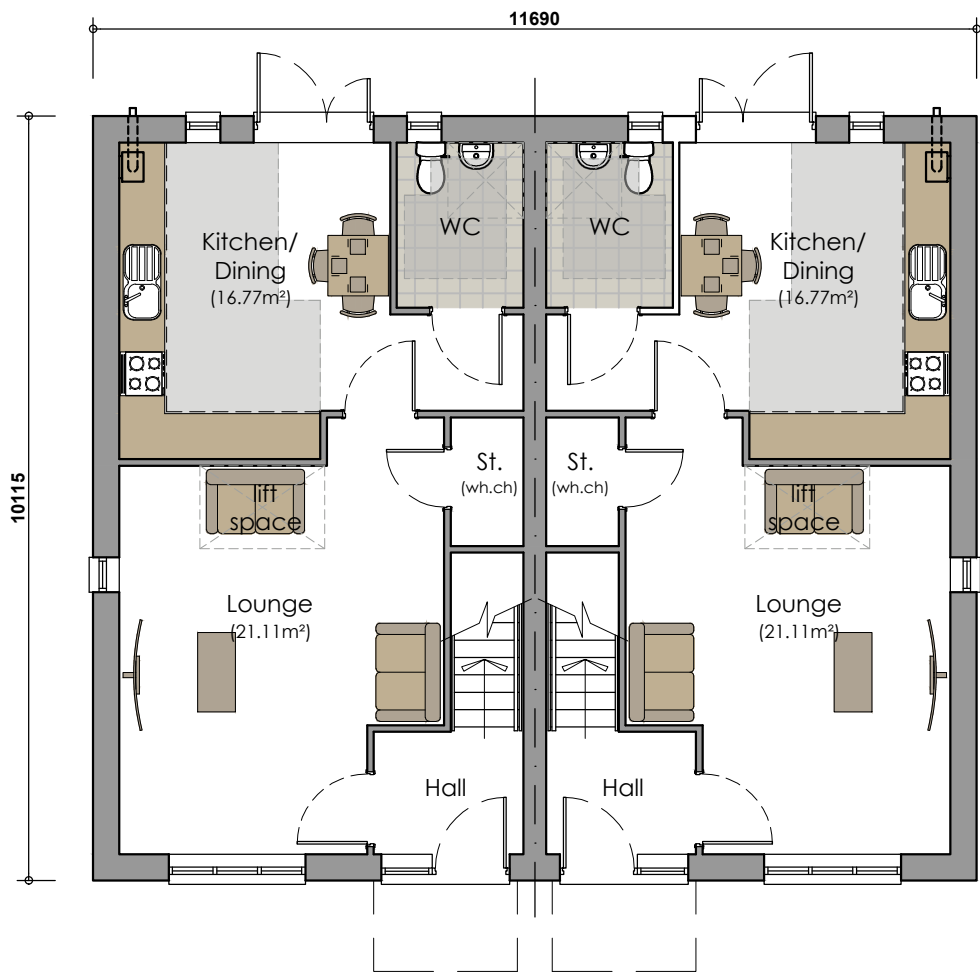
2B3P 93 (AS)
Plot No.49
2B3P 93 (OPP)
Plot No.50
FRONT ELEVATION - Semi-Detached



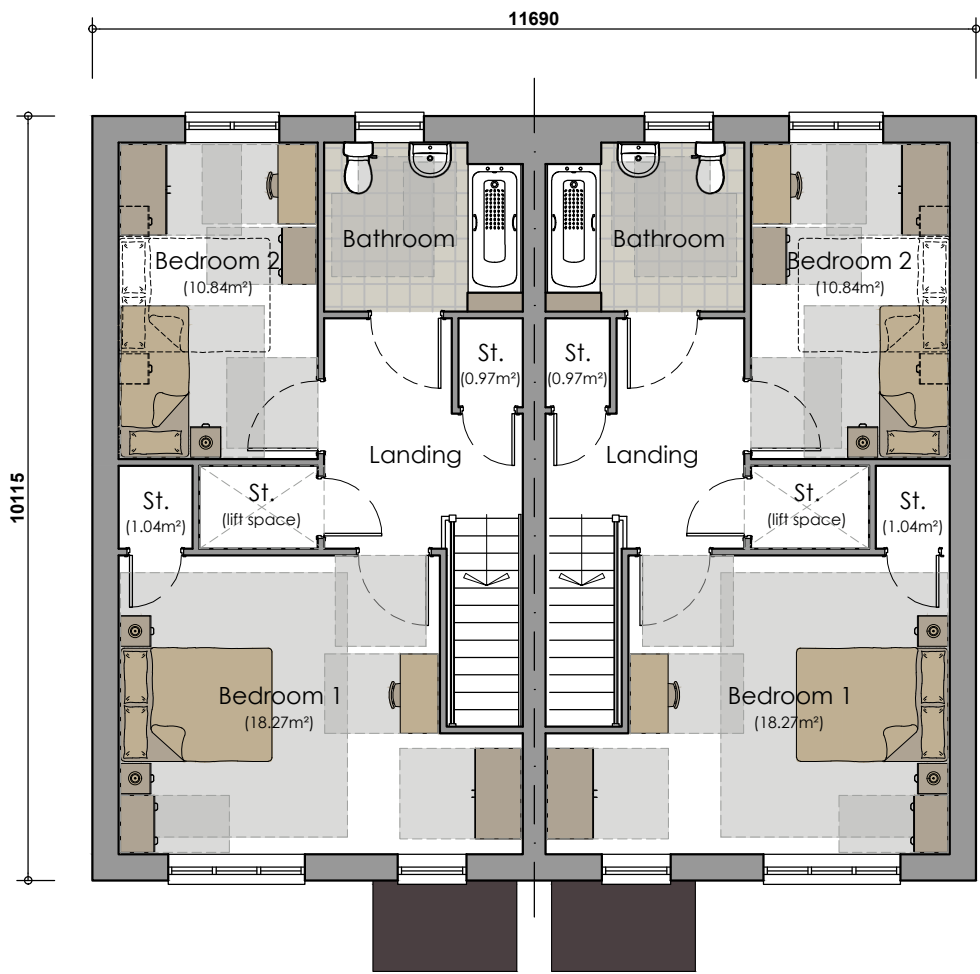
2B3P 93 (OPP)
Plot No.50
2B3P 93 (AS)
Plot No.49
REAR ELEVATION - Semi-Detached



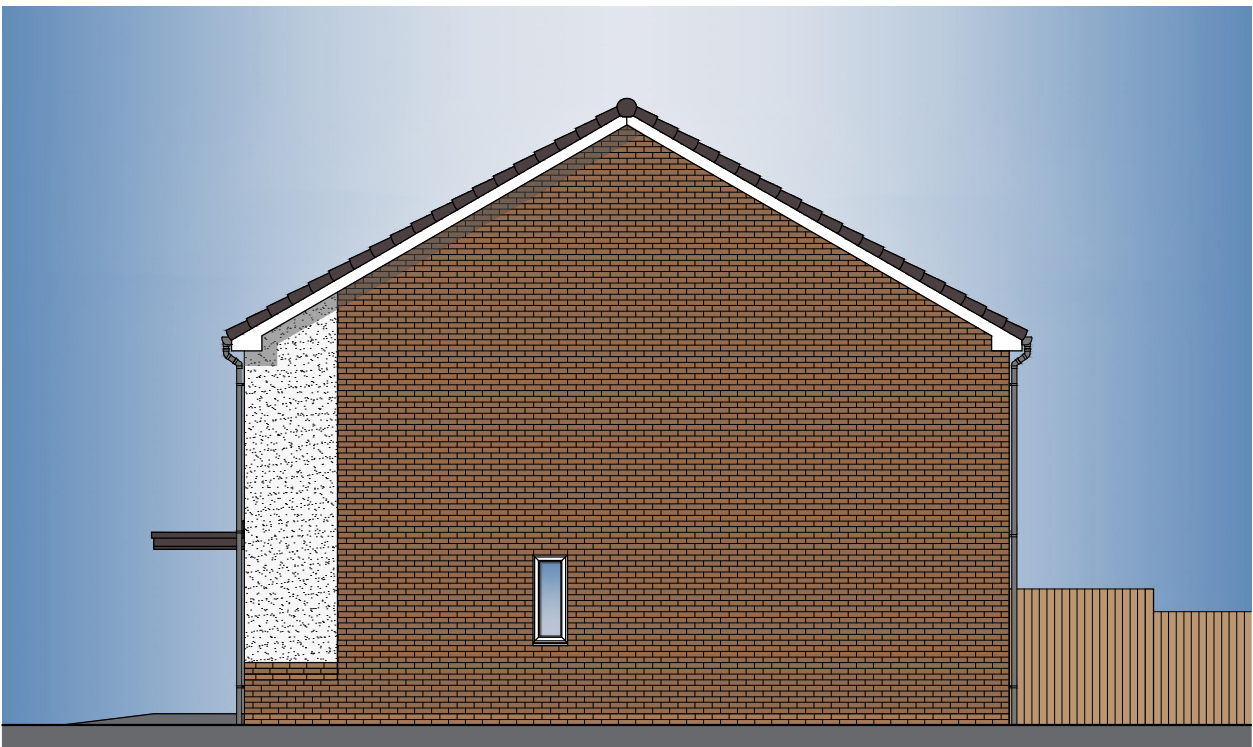
2B3P 93 (AS)
Plot No.49
SIDE ELEVATION - Semi-Detached



2B3P 93 (AS)
Plot No.49
2B3P 93 (OPP)
Plot No.50
GROUND FLOOR PLAN - Semi-Detached - M4(3)/(2a)




2B3P 93 (AS)
Plot No.49
2B3P 93 (OPP)
Plot No.50
FIRST FLOOR PLAN - Semi-Detached (M4(3)/(2a)



2B3P 93 (OPP)
Plot No.50
SIDE ELEVATION - Semi-Detached

M4(3)/(2a) Compliance Schedule				
Type:	2 Bed 3 Person House Type (2 Storey)			
Gross Internal Area:				
Actual GIA:	93m²			
Room Sizes:				
Name:	M4(3) Width:	Actual Width:	M4(3) Area:	Actual Area:
Bedroom 1	3.0m x 3.0m	4.24m x 3.92m	13.5m²	18.27m²
Bedroom 2	2.4m x 2.4m	2.60m x 4.16m	8.5m²	10.84m²
Storage:				
Name:	Area:			
1F Store 1	1.04m²			
1F Store 2	0.97m²			
Total:	2.01m²			
M4(3)	2.0m²			

Plot No's 49 & 50

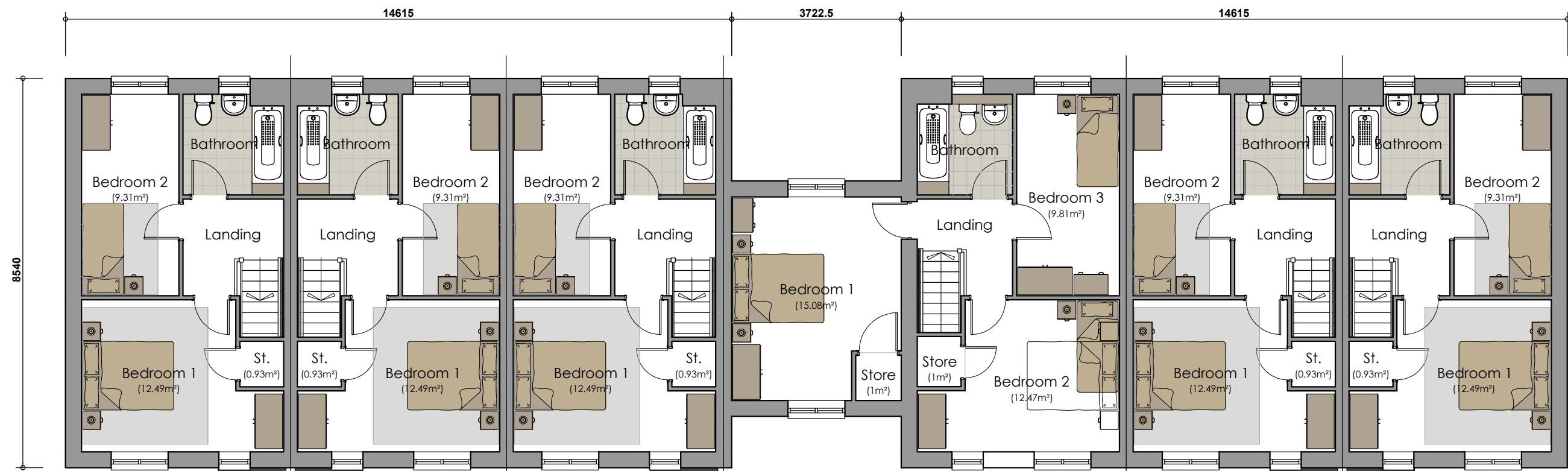
B	08.11.24	DH	Amended to client comments.			
A	SEPT.24	SHW	PLOT NUMBERS UPDATED TO SUIT LATEST LAYOUT			
REV	DATE	DRAWN	DESCRIPTION		ARCH	ENG
					CHECK	CHECK
TITLE:						
2 BED 3 PERSON HOUSE TYPE (70m²)						
NDSS COMPLIANT						
PROPOSED FLOOR PLANS & ELEVATIONS						
 Breck Homes 20 Sceptre Court Bamber Bridge Preston PR5 6AW tel: 01253 587 010 web: www.breck.co.uk/homes hello@breck.co.uk						
PROJECT: CROXTON LANE, MIDDLEWICH						
DATE:	SCALE:	JOB REF:	DRAWING NUMBER:		REV:	
AUG.24	1:100 @ A2	-	P27 - Croxton Lane / Plot No's 49 & 50		B	



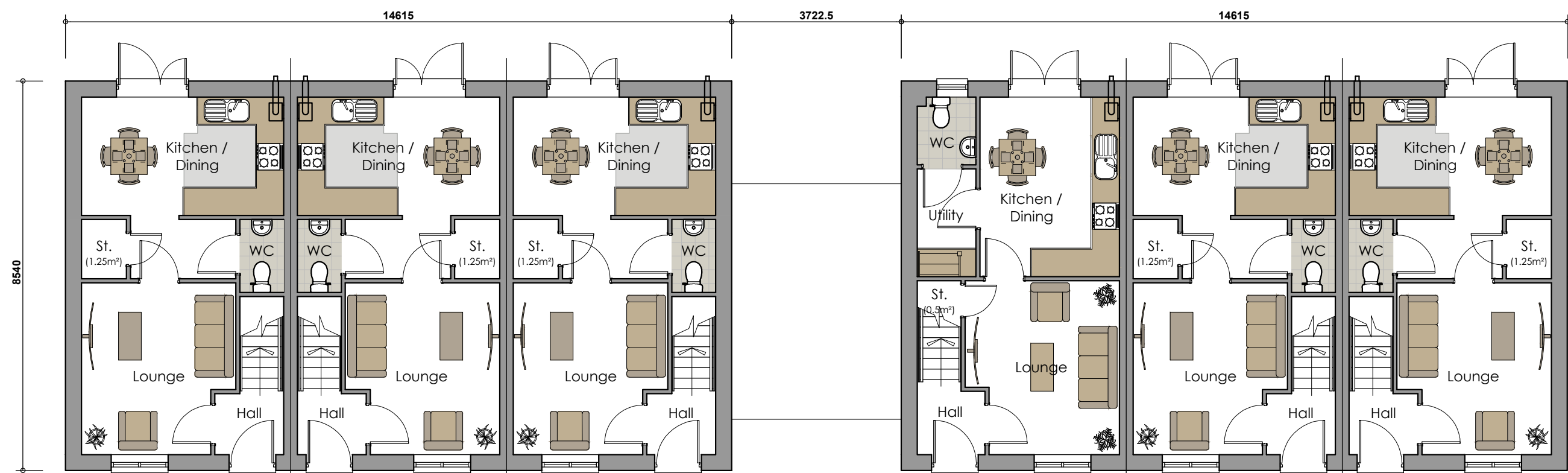
283P 70 (OPP) Plot No.53
283P 70 (AS) Plot No.54
283P 70 (AS) Plot No.55
384P 88 (OPP) Plot No. 56
283P 70 (AS) Plot No.57
283P 70 (OPP) Plot No. 58
REAR ELEVATION - Terrace of 06



283P 70 (OPP) Plot No.58
283P 70 (AS) Plot No.57
384P 88 (OPP) Plot No.56
283P 70 (AS) Plot No.55
283P 70 (AS) Plot No.54
283P 70 (OPP) Plot No.53
REAR ELEVATION - Terrace of 06



283P 70 M4(2) (AS) Plot No.53
283P 70 M4(2) (OPP) Plot No.54
283P 70 M4(2) (AS) Plot No.55
384P 88 (OPP) Plot No. 56
283P 70 M4(2) (AS) Plot No.57
283P 70 M4(2) (OPP) Plot No. 58
FIRST FLOOR PLAN - Terrace of 06



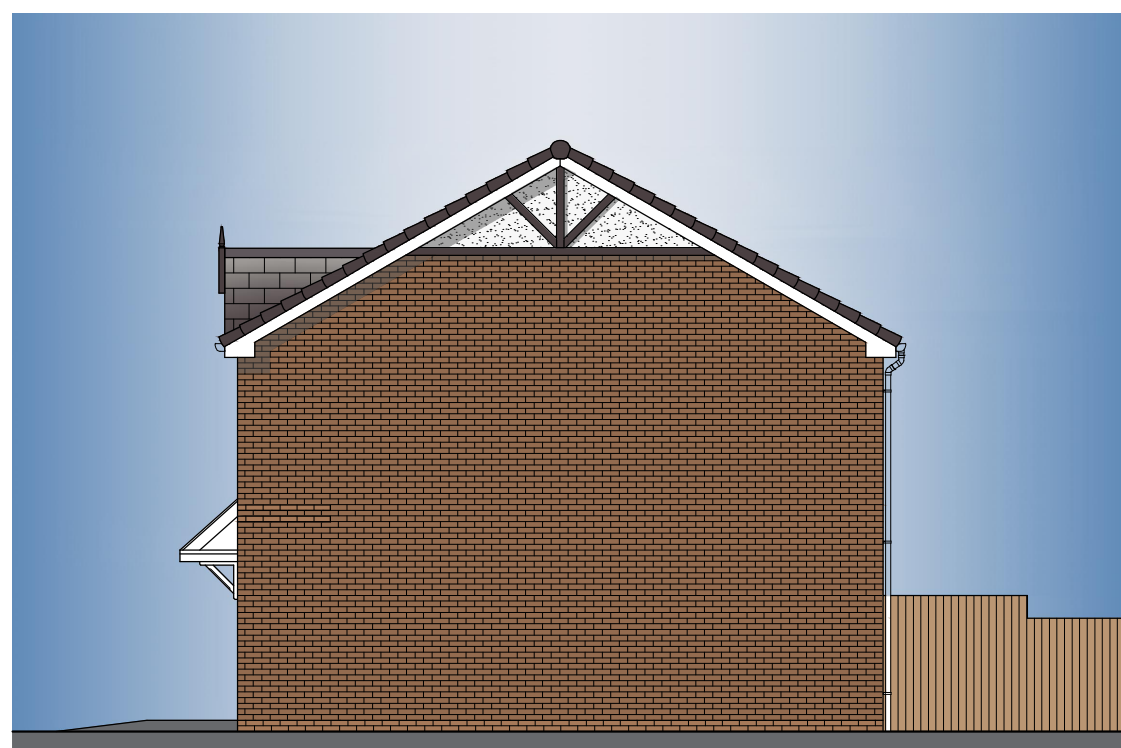
283P 70 M4(2) (AS) Plot No.53
283P 70 M4(2) (OPP) Plot No.54
283P 70 M4(2) (AS) Plot No.55
384P 88 (OPP) Plot No. 56
283P 70 M4(2) (AS) Plot No.57
283P 70 M4(2) (OPP) Plot No. 58
GROUND FLOOR PLAN - Terrace of 06

NDSS Compliance Schedule				
Type:	2 Bed 3 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	70m²	Actual GIA:	70m²	
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	4.38m x 2.86m	11.5m²	12.56m²
Bedroom 2	2.15m x 2.15m	4.38m x 2.61m	7.5m²	10.80m²
Storage:				
Name:	Area:			
Gf Store	0.5m²			
1F Store	1.05m²			
Bed 1 Robes	1.02m²			
Total:	2.57m²			
NDSS:	2.0m²			

NDSS Compliance Schedule				
Type:	3 Bed 4 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	84m²	Actual GIA:	88m²	
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	3.67m x 4.41m	11.5m²	15.08m²
Bedroom 2	2.15m x 2.15m	4.38m x 3.30m	7.5m²	12.47m²
Bedroom 3	2.15m x 2.15m	2.23m x 4.59m	7.5m²	9.81m²
Storage:				
Name:	Area:			
GF Store 1	0.5m²			
1F Store	1.0m²			
1F Store	1.0m²			
Total:	2.5m²			
NDSS:	2.5m²			



283P 70 (AS) Plot No.53
SIDE ELEVATION - Terrace of 06



283P 70 (OPP) Plot No.58
SIDE ELEVATION - Terrace of 06

Plots 53,54,55,56,57 & 58

B	A	28.11.24	DN	SH	Amended to client comments.				
		28.11.24	DN	SH	PLUMBERS UPDATED TO SUIT LATEST LAYOUT		-	-	
REV	DATE	DRAWN	DESCRIPTION				ARCHT	TECH	
TITLE:									
PROJECT:									
CROXTON LANE, MIDDLEWICH									
DATE:	AUG.24		SCALE:	1:100 @ A1	JOB REF:	-	DRAWING NUMBER:	P29 - Croxton Lane / Plot No's 53,54,55,56,57 & 58	
REV:	B							REV	B





386P 106 (AS)
Plot No.59
FRONT ELEVATION - Terrace of 05

283P 70 (AS)
Plot No.60

283P 70 (AS)
Plot No.61

384P 88 (OPP)
Plot No.62

283P 70 (OPP)
Plot No.63



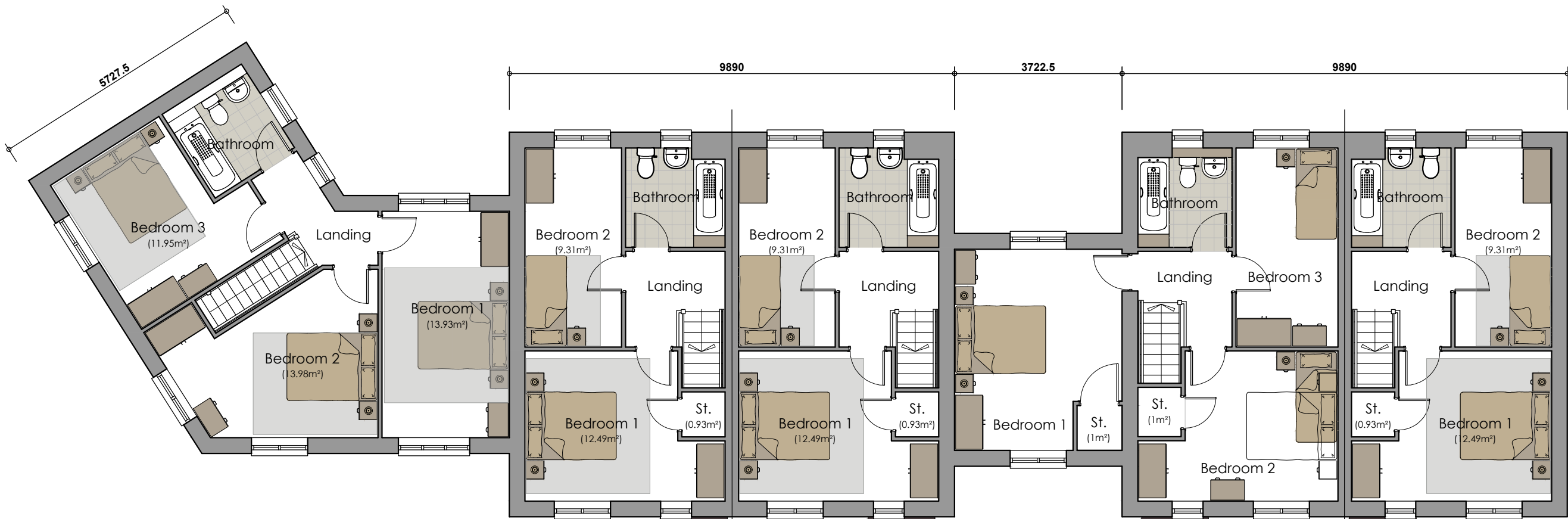
283P 70 (OPP)
Plot No.63
REAR ELEVATION - Terrace of 05

384P 88 (OPP)
Plot No.62

283P 70 (AS)
Plot No.61

283P 70 (AS)
Plot No.60

386P 106 (AS)
Plot No.59



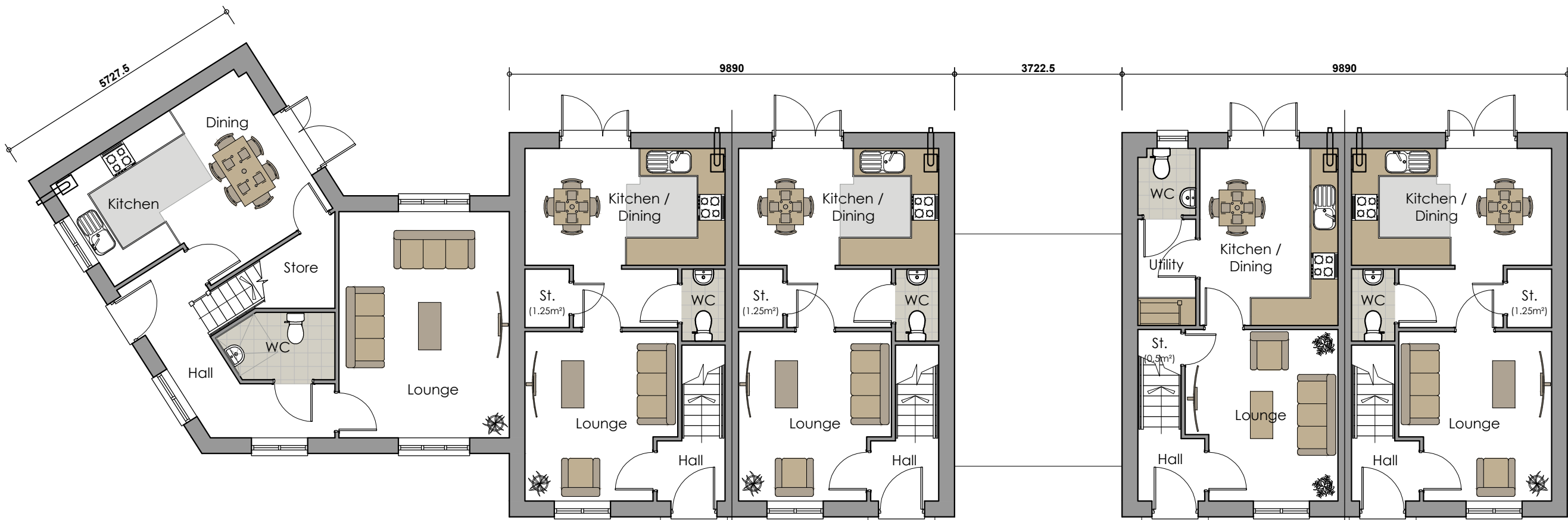
386P 106 M4(2) (AS)
Plot No.59
FIRST FLOOR PLAN - Terrace of 05

283P 70 M4(2) (AS)
Plot No.60

283P 70 M4(2) (AS)
Plot No.61

384P 88 (OPP)
Plot No.62

283P 70 M4(2) (OPP)
Plot No.63



386P 106 M4(2) (AS)
Plot No.59
GROUND FLOOR PLAN - Terrace of 05

283P 70 M4(2) (AS)
Plot No.60

283P 70 M4(2) (AS)
Plot No.61

384P 88 (OPP)
Plot No.62

283P 70 M4(2) (OPP)
Plot No.63

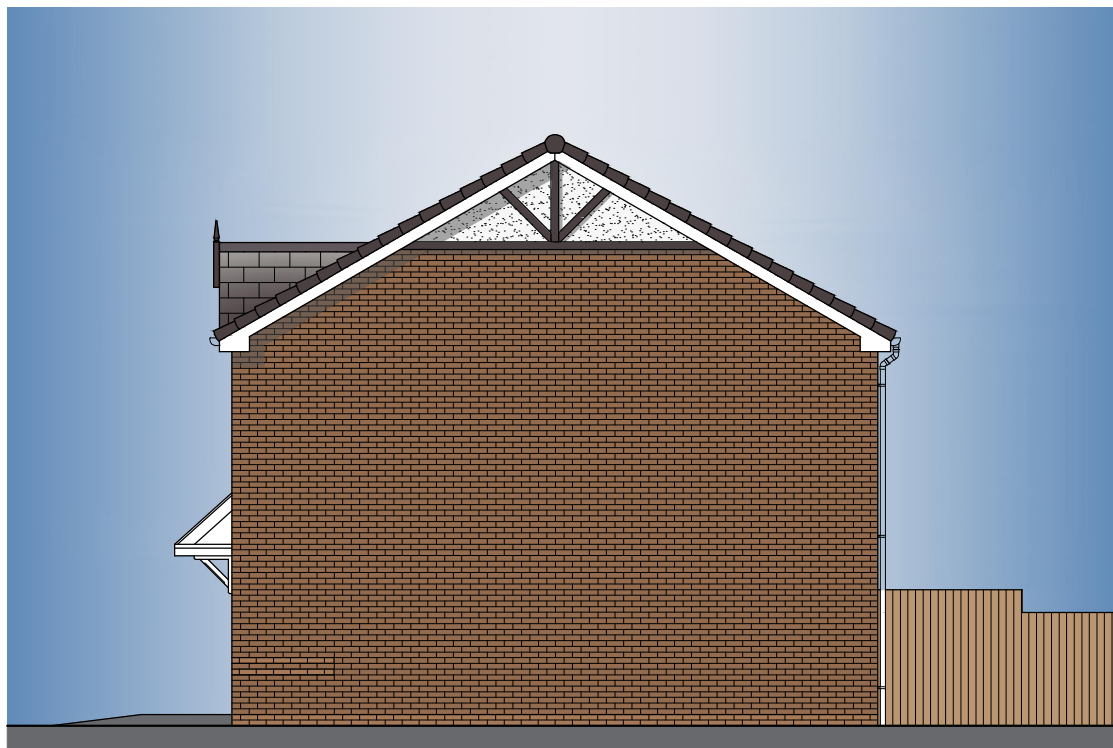
NDSS Compliance Schedule				
Type:	3 Bed 6 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	102m²	Actual GIA:	106m²	
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	2.80m x 4.97m	11.5m²	13.93m²
Bedroom 2	2.55m x 2.55m	3.71m x 3.62m	11.5m²	13.98m²
Bedroom 3	2.55m x 2.55m	2.85m x 3.75m	11.5m²	11.95m²
Storage:				
Name:	Area:			
GF Store 1	2.6m²			
Total:	2.6m²			
NDSS:	2.5m²			

NDSS Compliance Schedule				
Type:	2 Bed 3 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	70m²	Actual GIA:	70m²	
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	3.4m x 3.3m	11.5m²	12.7m²
Bedroom 2	2.15m x 2.15m	2.2m x 4.4m	7.5m²	10.0m²
Storage:				
Name:	Area:			
GF Store	1.25m²			
IF Store	0.93m²			
Total:	2.18m²			
NDSS:	2.0m²			

NDSS Compliance Schedule				
Type:	3 Bed 4 Person House Type (2 Storey)			
Gross Internal Area:				
NDSS GIA:	84m²	Actual GIA:		88m²
Room Sizes:				
Name:	NDSS Width:	Actual Width:	NDSS Area:	Actual Area:
Bedroom 1	2.75m x 2.75m	3.7m x 4.4m	11.5m²	15.4m²
Bedroom 2	2.15m x 2.15m	4.4m x 3.3m	7.5m²	12.7m²
Bedroom 3	2.15m x 2.15m	2.25m x 4.4m	7.5m²	10.0m²
Storage:				
Name:	Area:			
GF Store 1	0.5m²			
IF Store	1m²			
LS Store	1m²			
Total:	2.5m²			
NDSS:	2.5m²			



386P 106 (AS)
Plot No.59
SIDE ELEVATION - Terrace of 05



283P 70 (OPP)
Plot No.63
SIDE ELEVATION - Terrace of 05

Plots 59,60,61,62 & 63

B A	06.11.24 SEPT 24	CH BHW	Amended to client comments. PLOT NUMBERS UPDATED TO SUIT LATEST LAYOUT	-	-
REV	DATE	DRAWN	DESCRIPTION	ARCHT	TRNG
TITLE:					
PROJECT:					
CROXTON LANE, MIDDLEWICH					
DATE:	SCALE:	JOB REF:	DRAWING NUMBER:	REV:	
AUG.24	1:100 @ A1	-	P30 - Croxton Lane / Plot No's 59, 60, 61, 62 & 63	B	



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Application No: 24/1297N

Location: Doddington Estate, Bridgemere Lane, Bridgemere, CW5 7PU

Proposal: Reserved Matters application for 18no dwellings on Site 1 on outline approval 18/2153N (APP/R0660/W/19/3221564): The development proposed is Development of 12 no. sites for residential development for 112 no. dwellings with means of access and layout included, but with all other matters reserved, for a 10 year phased release and delivery period and associated community betterment (parking overspill next to School, enhanced parking next to Church, permissive pedestrian paths, playspace, public access, community orchard, educational contribution and affordable housing)[RE-SUBMISSION of 16/5719N : addition of extra 2.81 ha of land and 10 no. dwellings]

Applicant: Lady Rona Delves-Broughton (The Doddington Estate)

Expiry Date: 06-Dec-2024

SUMMARY

The application site is located within the open countryside as set out in the development plan. The appeal inspector concluded that the proposals met the exception PG 6 (vi) *For development that is essential for the conservation and enhancement of a heritage asset*. The principal of development has already been accepted on this site for 18 dwellings as part of a larger scheme of 112 dwellings around the Doddington Hall estate.

As set out above, outline planning permission was granted on appeal for the Development of 12 no. sites for residential development for 112 no. dwellings with means of access and layout included, but with all other matters reserved, for a 10 year phased release and delivery period and associated community betterment (parking overspill next to School, enhanced parking next to Church, permissive pedestrian paths, play space, public access, community orchard, educational contribution and affordable housing).

The outline application was granted permission as part of a wider 'enabling development' scheme to enable the restoration and conversion of the Grade I Doddington Hall and Grade II stables into a Hotel and Spa. The scheme also includes the restoration of Grade I Delves Tower/Hall and restoration of the Grade II* Star Barn. The permission is subject to a detailed S106 legal agreement which links the outline planning permission 18/2153N to the Doddington Hotel permissions 18/5806N and 18/5903N.

Permission was granted for a detailed outline which included layout and access, with all other matters, appearance, landscaping and scale reserved for a future submission. The outline permission was also subject to a detailed design code for each site which was conditioned.

The application site (Site 1), is located off London Road, Bridgemere. The site is located within the Open countryside. The site has a site area of 2.81ha and includes outline permission for 18 dwellings and a LEAP.

The principle of development has already been accepted on this site for 18no dwellings. Therefore, the main issues of this application are whether the reserved matters of appearance, landscaping, and scale are acceptable. The purpose of this application is to agree the outstanding reserved matters.

The application accords with the outline permission and therefore is considered to be acceptable.

Subject to conditions it is considered that the design, landscape, LEAP provision, ecology impact and surface water drainage scheme are acceptable.

The proposed access/parking and impact on neighbouring and future occupier amenity has been fully considered and is considered to be acceptable.

As set in the assessment section, there are some outstanding issues in relation to the forestry impact however it is considered likely that these can be dealt with by means of an update to committee and condition.

It is therefore considered that subject to conditions, and the submission of the updated AIA and AMS, the proposal is acceptable and in accordance with the outline permission and the relevant policies of the Development Plan and is recommended for approval accordingly.

RECOMMENDATION

Approve with conditions

REASON FOR REFERRAL

This level of application would usually be decided under delegated powers however it has been referred to Southern Planning Committee at the request of Cllr Clowes for the following reasons:

'I note the following additional documents that have been up-loaded to the Cheshire East Website since I last submitted comments in July 2024, along with those submitted by the Doddington & District Parish Council.

1. I welcome the changes to the design of the 18 properties. We would ask that the build includes red Cheshire brick, in keeping with the local vernacular.

2. I welcome the inclusion of further detailed surface water drainage (SUDs) solutions. Although I request that the Cheshire East Drainage and Flood Team examine these further to ensure that ground percolation calculations are sufficient as this appears inadequate for the volumes of water that will drain off roofs and other hard surfaces on site. HOWEVER, many of my original concerns have not yet been addressed and are again outlined below for clarity.

This reserved matters application has a complex planning history. This site and its accompanying enabling development sites that collectively comprise the outline application 18/2153N, was eventually passed at appeal in 2020.

The principal of development on 12 disparate sites on open countryside, in light of the Appeal Decision is not disputed. However, it is critical to note that whilst this site is the first to come forward, it is also the trigger for the complex cascade of actions required under the S106 agreement.

THE S106 AGREEMENT

The current application itself may be approved in due course but before construction commences, a significant number of conditions pertaining to the S106 agreement must be included and delivered on an approved and determined schedule. These include:

1. A phased programming and physical extent of construction on each site, including the number of dwellings.

2. The legally binding BONDS must be in place, linked to the RPI from the RLF Budget estimate (Quarter 4, 2015) that was set at £34.45million. The Bonds relate to:

- a) The Heritage Works (Delves Tower, Doddington Hall, Star Barn and listed Parklands)*
- b) The Hotel Construction.*

3. There must be clear identification of the Open Space Provision on each site and the proposed management scheme to ensure their future maintenance.

4. A definitive timescale (with dates) for the implementation of the car parking schemes at Bridgemere Primary School and at St John's Church, Doddington.

5. A definitive timescale for the delivery of sites 2 and 15, where the affordable housing contribution is allocated. These must not be 'left to the end' of the enabling development schemes,

6. A definitive public access scheme (permissive paths) together with a Public Right of Way programme must be defined and implemented. (This requires PROW status)

7. The Bank Account must be established. This must be in place prior to the commencement of development and operational prior to the sale of any properties / sites that are sold prior to development.

These are the main conditions required under the S106 but there may be other conditions under the S106 agreement that officers deem essential to condition at this stage, prior to development. It is essential that Cheshire East Council (as the Local

Planning Authority) appoints an S106 Monitoring Officer to oversee the effective and timely delivery of the S106 conditions. I would ask that both myself (as Ward Councillor) and the Doddington & District Parish Council are advised of this appointment. Thank you.

MATERIAL PLANNING CONCERNS re SITE 1 (24/1297N)

1. **ECOLOGY** - I would ask, in concurrence with the ecology officer's advice, that a wider woodland buffer zone is adopted, in to avoid negative impacts of development on the rich woodland ecology of this area.

2. **FLOOD & DRAINAGE** - I am deeply concerned that there is still no flood and drainage report in relation to this site. It is an ecology-rich site with an important watercourse (Mill Race) that makes up the eastern boundary. This is recognised wildlife corridor that extends across this part of the Wybunbury Ward (as identified by Cheshire Wildlife Trust and published in the Wybunbury United Parishes Neighbourhood Plan. It must not be compromised by this development. It must be noted that as part of the original application, the Environment Agency initially **OBJECTED** to this development (30.05.2018), however, the developer J10 in a letter (06.07.2028) confirmed that the development would be served by a new mains sewer. In light of this commitment, the Environment Agency withdrew its objections and the proposal was accepted. Development must not take place until the mains sewer has been installed as previously agreed.

3. **MILLDALE SCOUT CAMP/ACTIVITY SITE** - This site is a well-established and much used facility that has operated for many years providing important activities and training for young people from across the North-West and beyond. The functions and activities of the Milldale Site must not be compromised, nor the safeguarding of the young people that visit the site be undermined. We request that a suitable, secure boundary treatment is installed that maintains the woodland buffer zone and the security of the Milldale site. Potential future residents should be made aware of the site, its functions (day and night, seven days a week).

4. **DESIGN and LAYOUT** (10.2024: Now in large part addressed).

- The design of the properties proposed is deeply disappointing and are reminiscent of urban regeneration estates.
- The Georgian 'pastiche' of columns and grandiose external features, whilst allegedly an 'homage' to the Georgian façade of Doddington Hall, is inappropriate in the depths of the surrounding countryside.
- I refer officers and developers to the website of the Wybunbury Combined parishes Neighbourhood Plan that provide extensive 'Cheshire' features that do not detract from the size and internal layouts of the dwellings, but which would sit more comfortably in the Cheshire countryside. <https://wybunburynp.co.uk> (Document Library, Appendix R: Historic Buildings and Places of the Wybunbury Combined Parishes).

5. **The LEAP (Local Equipment Area for Play)**

Under the original conditions, this facility is for public use (not only the use of the residents on this site). However, no provision has been made for visitor parking which will be essential if parish residents are to access the LEAP. (This site is car dependent) The current design and layout effectively excludes public use which is not acceptable.

Until these significant material planning matters are resolved, this application must be

REFUSED.

SITE DESCRIPTION

The application relates to the site known as Site 1.

Outline planning permission was granted on appeal for the Development of 12 no. sites for residential development for 112 no. dwellings with means of access and layout included, but with all other matters reserved, for a 10 year phased release and delivery period and associated community betterment (parking overspill next to School, enhanced parking next to Church, permissive pedestrian paths, playspace, public access, community orchard, educational contribution and affordable housing).

The outline permission was granted permission as part of a wider 'enabling development' scheme to enable the restoration and conversion of the Grade I Doddington Hall and Grade II stables into a Hotel and Spa. The scheme also includes the restoration of Grade I Delves Tower/Hall and restoration of the Grade II* Star Barn. The permission is subject to a detailed S106 legal agreement which links the outline planning permission 18/2153N to the Doddington Hotel permissions 18/5806N and 18/5903N. The listed buildings are all on the 'At Risk' register.

Permission was granted for a detailed outline which included layout and access, with all other matters, appearance, landscaping and scale reserved for a future submission. The outline permission was also subject to a detailed design code for each site which was conditioned.

The application site, Site 1, is located off London Road, Bridgemere. The site is located within the Open countryside. The site has a site area of 2.81ha and includes outline permission for 18 dwellings and a LEAP. The site is bound by the A51 London Road to the west, fields to the north and south, and thick tree coverage to the east with the Milldale Scouts site beyond. The site is located around 800m from Doddington Hall.

PROPOSAL

This application seeks permission for the Reserved Matters for 18no dwellings on Site 1 on outline approval 18/2153N.

As set out above matters of Layout and Access have already been approved, this application seeks approval for the outstanding reserved matters of Appearance, Landscaping and Scale only.

RELEVANT HISTORY

Application site – Site 1

21/5722N – HS2 Phase 2a lorry routes relating to Community Area 5 for authorised sites – Approved with conditions 14th February 2022

18/2153N – Outline application for development of 12 sites for residential development for 112 dwellings with means of access and layout included, but with all other matters reserved, for a 10-year phased release and delivery period and associated community betterment (parking overspill next to school, enhanced parking next to church permissive pedestrian paths, play space, public access, community orchard, educational contribution and affordable housing). [Re-submission of 16/5719N: addition of extra 2.81 ha of land and 10 no. dwellings] – Refused 1st August 2018 – Allowed at Appeal 20th October 2020

16/5719N – Outline application for development of 12 no. sites for residential development for up to 102 no. dwellings with means of access and layout included, but with all other matters reserved, for a 15-year phased release and delivery period – Refused 29th September 2017

Other relevant planning history

18/5806N - Variation of conditions on full planning application 14/5654N – approved with conditions 8th February 2019

18/5903N - Variation of conditions on listed building consent 14/5656N – approved with conditions 7th February 2019

14/5654N – Proposed restoration and conversion of the Grade I Doddington Hall and Grade II Stables to a 5 star Country House Hotel (Class C1) providing 120 letting rooms, restaurant, bars, function rooms involving a series of internal and external alterations, integrating / retaining the 3 no. Cottages and Stables into the scheme and the erection of a new build bedroom accommodation annex wing; with a new build Spa Leisure facility (Class D2); temporary event space and associated parking provision, landscape (garden) restoration of the Grade II Registered Park and Garden; detailed landscaping, and the installation of a new electricity sub-station. Proposed structural restoration, refurbishment and conversion of the Grade I Delves Castle (Delves Tower / Delves Hall): with its use to be defined at a later date outwith of this application. Proposed structural restoration and refurbishment of the Grade II* Star Barn: with its use to be defined at a later date outwith of this application. – approved with conditions 10th February 2016

14/5656N - Listed Building Consent for proposed restoration and conversion of the Grade I Doddington Hall and Grade II Stables to a 5 star Country House Hotel (Class C1) providing 120 letting rooms, restaurant, bars, function rooms involving a series of internal and external alterations, integrating / retaining the 3 no. Cottages and Stables into the scheme and the erection of a new build bedroom accommodation annex wing; with a new build Spa Leisure facility (Class D2); temporary event space and associated parking provision, landscape (garden) restoration of the Grade II Registered Park and Garden; detailed landscaping, and the installation of a new electricity sub-station. Proposed structural restoration, refurbishment and conversion of the Grade I Delves Castle (Delves Tower / Delves Hall): with its use to be defined at a later

date outwith of this application. Proposed structural restoration and refurbishment of the Grade II* Star Barn: with its use to be defined at a later date outwith of this application – Approved with conditions 10th February 2016

NATIONAL & LOCAL POLICY

Cheshire East Local Plan Strategy

MP1 Presumption in favour of Sustainable Development,
PG2 Settlement Hierarchy,
PG6 Open Countryside,
PG7 Spatial Distribution of Development,
SD 1 Sustainable Development in Cheshire East,
SD 2 Sustainable Development Principles,
EG1 Economic Prosperity,
EG2 Rural Economy,
EG4 Tourism,
EG5 Tourism,
SC1 Leisure and Recreation,
SC2 Indoor and Outdoor Sports Facilities,
SC4 Residential Mix,
SC5 Affordable Housing,
SC6 Rural Exceptions Housing for Local Needs,
SE 1 Design,
SE2 Efficient Use of Land,
SE3 Biodiversity and Geodiversity,
SE4 The Landscape,
SE5 Trees, Hedgerows and Woodlands,
SE.6 Green Infrastructure,
SE7 The Historic Environment,
IN1 Infrastructure,
IN2 Development Contributions,
Appendix C

Site Allocations and Development Policies Document (SADPD)

PG9 Settlement Boundaries
GEN 1 Design Principles
ENV1 Ecological network
ENV 2 Ecological implementation
ENV3 Landscape character
ENV5 Landscaping
ENV 6 Trees, hedgerows and woodland implementation
ENV15 new development and existing uses
ENV 15 surface water management and floodrisk
HER 1 Heritage Assets
HER 2 Heritage at risk
HER 5 Registered Park and Gardens
HER 8 Archaeology
HOU 1 Housing mix

HOU 8 Space, accessibility and wheelchair housing standards
HOU12 Amenity
HOU 13 Residential standards
HOU 14 Residential density
HOU15 Residential delivery
HOU 16 Small and medium sized sites
INF 3 Highway Safety and access
INF 9 Utilities
REC 3 Open space implementation

Wybunbury Combined Parishes Neighbourhood Plan

H1 Location of new houses
H2 Housing Mix
H4 Design
E1 Woodland, Trees, Hedgerows and Boundary Treatment
E2 Wildlife Corridors
E3 Biodiversity
E5 Landscape Quality, Countryside and open views
LE5 Enabling Development
TI1 Traffic Management
TI2 Parking
TI4 Drainage

Other Material Considerations

National Planning Policy Framework
National Planning Policy Guidance
Cheshire East Design Guide

CONSULTATIONS

Strategic Housing – No affordable housing required on Site 1 therefore no comments to make

Head of Strategic Infrastructure (HSI) – No objection

Environmental Protection – No objections, details of EVI are acceptable, Noise and Contaminated land conditions from 18/2153N still relevant. Draft CEMP is acceptable. General informatives for construction hours, pile foundations, site specific dust management plan, and floor floating

United Utilities – None received at time of writing this report

Flood Risk – Amended SW drainage scheme is considered to be acceptable subject to condition for its implementation

Georgian Group - As application 24/1297N relates to reserved matters outside of The Georgian Group's Statutory remit (The Direction 2021), we do not wish to offer comment. Not offering comment should *not* be interpreted as either a statement of support or objection to the application. The Group does however

maintain a close interest in the broader enabling development scheme to support repairs and works to Grade I listed Doddington Hall. We emphasise here that we consider Doddington Hall, and other buildings across the wider estate including the Grade II* listed Star Barn, to be high significance Buildings at Risk in need of conservation works.

Cheshire Fire Service – Supply general comments

Environment Agency – No objection to the principle to the proposed development. Will comment on Foul Drainage Strategy when submitted.

Town/Parish Council

Hatherton and Walgherton Parish Council (16th October 2024) - Hatherton and Walgherton Parish Council would like to first echo Doddington Parish Council's comments with regards to:

- Ensuring the S106 conditions are met prior to construction.
- Requiring the mains sewer to be installed prior to development for concerns over Flood and Drainage.
- Requesting a suitable secure boundary to the Milldale Scout Site.
- Parking for the LEAP area.

The Council commented that they feel the new designs are much more in keeping and are pleased with the revisions

Doddington and District Parish Council (*summarised – full version available to view online*)

(18th November 2024)

- Together with the Ward Councillor, we have noted the additional documents up-loaded to the planning portal. These do not address the concerns raised and that are still out-standing as referenced in our submissions of 14.10.24 and 12.07.2024
- Surface water run-off: Concerns raised that the SW strategy is not sufficient and potential impact it could have on the Milldale Campsite which is located on a lower level
- There is still no provision for the delivery of a foul drainage scheme.
- The planning conditions related to the restoration and refurbishment of Badger's Bank Farmhouse and Outbuildings (Hunsterson Road, Hunsterson) have still not been articulated.
- Finally, the Parish Council ask that all unresolved matters raised in our two previous submissions (14.10.24 and 12.07.2024) are taken into consideration prior to any determination being made.

(14th October 2024) – *Summarised version – full version largely replicates the Ward Councillors reason for call in and can be viewed online.*

The Doddington & District Parish Council have met with the Ward Councillor and residents and have the following material concerns regarding this

application.

- Our main concern is that it is still incomplete and important elements of this reserved matters application are simply missing.
- We note that the designs of the houses have been altered and are more in keeping with the locality. Please ensure that Red Cheshire Brick is used in this context to better reflect local design and historic materials
- We note that a SUDs report has been submitted for the surface water run-off drainage. We are somewhat surprised that it appears that a ground percolation-only solution is proposed. We ask that the CE Drainage and Flood Team check the adequacy of this in terms of rainfall on roofs and hard surfaces.
- None of the S106 pre-commencement conditions have yet been initiated or a timetable set for their commencement submitted.
- As stated in our previous comments, this site has a complex planning history together (with it's accompanying enabling development sites that collectively comprise the outline application 18/2153N), that was eventually passed at appeal in 2020.
- The principal of development on 12 disparate sites on open countryside, in light of the Appeal Decision is not disputed. However, it is critical to note that whilst this site is the first to come forward, it is also the trigger for the complex cascade of actions required under the S106 agreement.

THE S106 AGREEMENT

The current application itself may be approved in due course but before construction commences, a significant number of conditions pertaining to the S106 agreement must be included and delivered on an approved and determined schedule. It is essential that Cheshire East Council (as the Local Planning Authority) appoints an S106 Monitoring Officer to oversee the effective and timely delivery of the S106 conditions.

Material planning concerns regarding Site 1 (24/1297N)

1. Ecology – in concurrence with the ecology officer's advice, that a wider woodland buffer zone is adopted, in to avoid negative impacts of development on the rich woodland ecology of this area.
2. Flood Risk and Drainage - concerned that there is still no flood and drainage report in relation to this site. It is an ecology-rich site with an important watercourse (Mill Race) that makes up the eastern boundary. This is recognised wildlife corridor that extends across this part of the Wybunbury Ward (as identified by Cheshire Wildlife Trust and published in the Wybunbury United Parishes Neighbourhood Plan. It must not be compromised by this development.
3. Milldale Scout Camp – It is request that a suitable, secure boundary treatment is installed between the camp and the housing that maintains the woodland buffer zone and the security of the Milldale site. Potential future residents should be made aware of the site, its functions (day and night, seven days a week).
4. Design and Layout - The design of the properties proposed is deeply disappointing and are reminiscent of urban regeneration estates. The Georgian 'pastiche' of columns

and grandiose external features, whilst allegedly an 'homage' to the Georgian façade of Doddington Hall, is inappropriate in the depths of the surrounding countryside. Should review Design guidance.

Concerns raised about the use of street lighting in this location bearing in mind it is highly rural and we value our 'dark skies' and nocturnal wildlife. Low level solar lights would be a more appropriate solution. Regular streetlights in this location are contrary to Policy ENV 14 (SADPD)

5. The LEAP (Local Equipment Area for Play) - Under the original conditions, this facility is for public use (not only the use of the residents on this site). However, no provision has been made for visitor parking which will be essential if parish residents are to access the LEAP. (This site is car dependent).

The current design and layout effectively exclude public use which is not acceptable.

As stated in July, until these significant material planning matters are resolved, this application must be REFUSED.

REPRESENTATIONS

Letters of representation have been received from 9no local residents. The main issues raised are;

- Object to the principle of 112 dwellings on the site / in the surrounding area/ new estate should be proposed
- Concerns over the safety of access on to A51, traffic increase in the area
- The school is not large enough to accommodate the additional children
- Lack of space in local doctors
- Impact on Milldale Scout camp by means of overlooking and lack of boundary treatment
- Does not accord with the neighbourhood plan
- Impact on wildlife and protected species
- Inappropriate design of the dwellings proposed which are out of character with the local vernacular
- Increase in pollution from development/occupants
- Lack of social housing proposed – all large dwellings
- Lack of renewable energy sources proposed
- No plan shown for the 'slow release' of dwellings across the sites

OFFICER APPRAISAL

Principle of Development

The application site is located within the open countryside as set out in the development plan. The appeal inspector concluded that the proposals met the exception PG 6 (vi) *For development that is essential for the conservation and enhancement of a heritage asset*. The principle of development has already been accepted on this site for 18 dwellings as part of a larger scheme of 112 dwellings around the Doddington Hall estate.

As set out above, outline planning permission was granted on appeal for the Development of 12 no. sites for residential development for 112 no. dwellings

with means of access and layout included, but with all other matters reserved, for a 10 year phased release and delivery period and associated community betterment (parking overspill next to School, enhanced parking next to Church, permissive pedestrian paths, play space, public access, community orchard, educational contribution and affordable housing).

The outline application was granted permission as part of a wider 'enabling development' scheme to enable the restoration and conversion of the Grade I Doddington Hall and Grade II stables into a Hotel and Spa. The scheme also includes the restoration of Grade I Delves Tower/Hall and restoration of the Grade II* Star Barn. The permission is subject to a detailed S106 legal agreement which links the outline planning permission 18/2153N to the Doddington Hotel permissions 18/5806N and 18/5903N.

Permission was granted for this site as part of an outline application which included layout and access (with appearance, landscaping and scale) reserved for a future submission. The outline permission was also subject to a detailed design code for each site which was conditioned.

The application site, Site 1, is located off London Road, Bridgemere. The site is located within the Open countryside. The site has a site area of 2.81ha and includes outline permission for 18 dwellings and a LEAP.

Therefore, the principle of development has already been accepted on this site for 18no dwellings. Therefore, the main issues of this application are whether the reserved matters of appearance, landscaping, and scale are acceptable, and these are discussed further below.

Impact of the Design on the Character of the area

Policy SE1 of the CELPS sets out the design criteria for new development and states that development proposals should make a positive contribution to their surroundings.

As set out above, the layout of the site has already been agreed as part of the outline planning permission. The outline permission was also subject to a Design Code for each site which was conditioned. The layout proposed is largely in accordance with that approved at outline stage, with a few minor tweaks to the location or orientation of buildings for practical purposes.

The design of the dwellings originally did not accord with those shown in the Design Code for this site. However, subject to discussion with the Design Team the house type designs have significantly improved from those originally submitted, and more closely accord with the design cues provided within the approved Design Code.

The Design Officer notes that careful control of materials and detail will be necessary to ensure the rural vernacular advocated by the code is maintained. Materials and finishes will need to be sympathetic to the rural vernacular and uPVC will not be acceptable for doors, windows, fascias or

rainwater goods. The Design officer considered that front door details should also be controlled, as the design could be improved, and a little more variety created. Garage doors should also be in timber as specified on the submitted drawings. Conditions are proposed for the control of these elements.

The Design Officer notes that the street is to be surfaced in tarmacadam, which is acceptable in itself, but the drainage strategy layout drawing indicates this as being infiltration paving. This needs to be secured, to ensure that the drainage strategy is not undermined. It is not clear whether kerbing is proposed to edge the street, if necessary it should be low key and conservation kerbing should also be used.

Furthermore, the Design Officer notes that whilst the infiltration-based approach to sustainable drainage is welcomed, it would have been positive to include some on plot, attractive bioretention features such as raingardens within the landscape. This would have added to the quality and distinctiveness of the scheme and would offer further short-term storage capacity during extreme peak events, over and above that already designed into the scheme.

Overall, the Design Officer notes that the design has improved markedly from that originally submitted and generally meets the requirements of the design code for this site and is therefore supported in design terms.

Heritage

This site lies outside of the curtilage and parkland to Doddington Hall, on the east side of Bridgemere Lane. It is however part of the wider setting and is the first submission relating to 12 sites to be developed, a number of which are within much closer proximity to the hall and Registered Park and Gardens (RPG). The submission has been amended to address concerns relating to the design approach, so that the dwellings reflect their rural context and to accord with the approved Design Code for the development. Whilst the approach is an improvement upon the original submission, with reference to local materials and vernacular character, The Heritage Officer raising concerns that it still lacks architectural detail and refinement; and should not form the template for the other sites in closer proximity to the hall and the RPG.

There are no objections to this application on a heritage basis.

Residential Amenity

The Design Guide and SADPD set out the generally acceptable spacing standards between windows in residential dwellings. A separation distance of around 18m between front elevations, increasing the 21m for rear elevations is acceptable, and 14m between principal and secondary windows/blank gables is acceptable.

The layout of the site was assessed as part of the outline permission, where it was considered the location and siting of the development was acceptable.

Internally all the dwellings all meet the required separation standards between principal windows, and all have sufficient private amenity space for each plot. The scheme comprises of 18no 4- and 5-bedroom houses, which was agreed at outline stage in terms of housing mix. All the dwellings meet the NDSS in terms of bedroom space and overall floor space.

There are no immediately adjacent neighbouring dwellings to the application site. The nearest dwelling to the site is over 100m away to the north. Therefore, the proposed development will have no impact in neighbouring dwellings by means of overlooking, overshadowing or overbearing impact.

To the northeast of the site is the Milldale Scout Campsite. There is a large area of tree coverage between the site and the campsite, and the proposed plans also include an ecological area between the built development on the site and the camp site. There are a number of dwellings which face towards the camp site land, however there is substantial tree coverage and separation distance in excess of 30 m between the dwellings and the brook. There is one dwelling which looks towards the camp area however again there is substantial tree coverage between, a proposed 1.8m boundary fence, 50m separation distance and an ecological zone and therefore it is considered to be sufficient distance to not cause any significant harm on the amenity of the campsite users.

Environmental Protection have been consulted in terms of amenity impact and have raised no objections with the proposal. The Officers have highlighted that condition 32 in terms of noise attenuation mitigation is still relevant. The plans show a 2m high boundary fence behind the hedgerow to the frontage of the A51 to ensure the future occupiers of the dwellings are safeguarded from the noise associated with the A road. Also, the comments highlight that the conditions relating to contaminated land are still relevant, and that the draft CEMP which has been submitted appears to be acceptable but a condition should be attached for formal submission and approval prior to commencement of development on the site.

Highways Implications

The Strategic Highways Officer has considered the reserved matters application and notes that the access and layout have already been approved and this submission is in line with the development layout submitted at outline.

The development is a mix of 4 and 5 bed units and each plot has adequate off-street parking space to meet car parking standards. As there is only 18 units in total, the access road is suitable as shared surface. There are no objections raised in terms of highway safety.

Furthermore, three additional visitor spaces have now been added to the plans which allow for parking in close proximity to the LEAP for occupiers of the other development sites and existing residents, a condition will be added to secure this parking as visitor parking provision.

Flood Risk and Drainage

The LLFA have confirmed that the proposed surface water drainage scheme as required by conditions 20 and 21 of the outline permission is acceptable.

Furthermore, it is noted that the Ward Councillor and Parish Councils have raised concerns regarding the lack of foul drainage scheme with the application. However, the outline permission does not require the submission of a foul drainage scheme as part of the reserved matters application and can be dealt with by means of discharge of condition. The applicant has confirmed that foul drainage scheme is under review and confirm that a pre-commencement condition could be attached to any decision for the details to be submitted.

Landscape

The Landscape Officer has assessed the proposed scheme, including the requirement for a noise attenuation fence along the frontage boundary and welcomes the additional tree planting and details plans which have been supplied as part of the revised scheme.

The Landscape Officer notes that should the application be approved it is requested that conditions be attached for further detailed landscape drawings and the landscape management and maintenance documents to be agreed in writing prior to commencement of development, in relation to other smaller amendments/updates sought as set out above and below.

Forestry

The latest drainage plans reflect a different layout to that appraised in the supporting Arboricultural Impact Assessment.

The detailed plans show the woodland edge could be affected by levels changes, and construction of retaining walls. Retaining walls are proposed on the edge of the Root Protection Areas (RPAs) of retained tree T4 and group of trees G1. Retaining walls are also proposed within what is believed to be the construction exclusion zone of the tree cover bordering the northern boundary of the site. There are concerns regarding the impact of the development given that this element has not been appraised in the existing AIA and AMS.

The Forestry Officer notes that contours of the site and associated impacts on trees still present concerns and have not been considered in a revised arboricultural report and for the avoidance of doubt an updated AIA and tree constraints plan should be submitted which shows this updated layout, drainage routes and any areas where changes of existing levels will occur (existing and finished spot levels). This would in turn inform an AMS and revised tree protection plan, which can be conditioned.

This information should be submitted prior to determination to confirm impacts and demonstrate the technical feasibility of this layout. This has been requested and further information will be provided as part of an update report.

Ecology

The Councils ecologist has considered the details of the reserved matters application and notes the following;

Condition 10 - each reserved matters shall include proposals for advanced landscaping planting, to strengthen/gap up hedgerows, additional hedgerows trees where appropriate and to the eastern end of sites 3 and 15 include details of where proposed tree planting will be undertaken.

The updated site plan shows the areas proposed for advanced planting around the edges of the site. This will be detailed further in an updated landscape plan to be submitted by condition.

Condition 17 - Each reserved matters application shall include a full scheme of any external lighting proposed.

The Ecologist advises that there are no significant ecological concerns relating to the lighting scheme as submitted. The lighting scheme however reflects the previously proposed layout and so needs to be updated to reflect the current proposals.

The applicant has confirmed that an updated plan will be submitted prior to the determination of the application.

Condition 18 - Each Reserved Matters application shall include a landscape management plan.

The submitted management plan (Barnes Walker dated October 2024) is acceptable for an Ecology perspective.

Condition 22 - Each reserved matters application shall include an updated protected species assessment and mitigation strategy

An updated protected species assessment has also been submitted as required by this condition.

It is confirmed that the Ecology Zone for Reserved Matters Site 1 is shown on the submitted landscape layout plan as required by this condition. Recommendations for the management of this area are included in the submitted protected species report as required by this condition.

The previously identified other protected species habitats were found to be inactive during the updated survey visit. The report however includes precautionary measures in respect of this species.

The Councils ecologist confirms that the submitted report is acceptable and fulfils this condition requirement.

Woodland Buffers

The woodland located to the north-eastern boundary of this site appears upon the national Inventory of priority habitats. Habitats of this type are a material consideration for planning. Developments located adjacent to woodlands have the potential to have a number of adverse impacts on the nature conservation value of woodland habitats.

An undeveloped buffer is proposed landscape plan adjacent to the woodland. The buffer as proposed reflects that shown on the illustrative plans submitted with the outline application. The current buffer is acceptable; however it is recommended that the woodland buffer be as wide as possible within the site layout.

Hedgerows

The proposed layout will result in the loss of a section of hedgerow to facilitate the site access. Native hedgerows are a priority habitat and so a material consideration. The loss of hedgerow to the proposed layout is considered unavoidable, and therefore the Ecologists advises that sufficient compensatory hedgerows planting is proposed as part of the proposed landscaping scheme to compensate for that lost.

Nesting Birds

If planning consent is granted a condition is required to safeguard nesting birds.

Open Space Provision

The Council's Greenspaces officer has been in discussions with the applicant's team in relation to the design and specific equipment proposed on the site. The Officer confirms that the LEAP play submission is acceptable and will be a good community asset for the area, this is subject to some small amendments as follows;

- One additional bench with specification of at least one having arm rests and a back
- Play Area signage giving details of maintenance company, no litter, dogs etc with pictograms
- Play area gates to open outwards

The Greenspaces officer has raised a concern with the proposal to plant two Oaks either side of the LEAP area, due to the on – going maintenance that this will cause. The Landscape Management Schedule and Plan for the play facility need to be updated in line with the LEAP provision proposed.

It is considered that this can be dealt with by condition as part of an updated landscape plan and maintenance and management scheme as required by the landscape officer.

Furthermore, as noted above three additional visitor spaces have now been added to the plans which allow for parking in close proximity to the LEAP for occupiers of the other development sites and existing residents, a condition will be added to secure this parking as visitor parking provision.

Conditions

The outline permission was subject to 35 conditions, not all the conditions relate to this application site and some will remain outstanding. Below are the relevant conditions in relation to this site.

Condition 1 (Details of reserved matters), Condition 2 (Reserved matters – timeframe) requires the first reserved matters to be submitted within 5 years of the permission; Condition 3 (development timeframe) requires development to be implemented within 15 years of the outline permission or within 5 years of the final approved reserved matters; Condition 4 (approved plans) lists the approved plans; and Condition 5 (Design Code) requires all reserved matters application to accord with the Design code. The first 5 conditions of the permission are standard compliance conditions.

Condition 6 (Dwelling height) is a compliance condition requiring all dwellings to be no taller than two storeys. The dwellings are all two storey or two and half storey which is in compliance with the condition.

Condition 8 (Levels details) submitted with the application and are considered to be acceptable, subject to Forestry concerns being dealt with.

Condition 9 (Landscaping scheme), 10 (advanced landscaping scheme) Condition 18 (Landscape Management Plan) – details have been submitted and are generally acceptable as set out in the Landscape section of the report above, further conditions specific to Site 1 for a landscaping and management/maintenance scheme to be submitted is suggested below.

Condition 12 (EVI) the plans show the location of EVI and are considered to be acceptable.

Condition 17 (External lighting plan) required as part of reserved matters. The general principle of the scheme is acceptable, however updated plans needed.

Condition 19 (AIA and Tree Protection/MS) details have been submitted but an updated version is required in line with the revised plans and forestry comments above.

Condition 20 and 21 (Surface water drainage scheme) has been submitted and LLFA have raised no objections.

Condition 22 (Ecological assessment and strategy) details have been submitted and as noted above are acceptable.

Condition 23 (CEMP) a draft version has been submitted which appears to be acceptable. A condition will be added to the permission for a final version to be submitted and approved prior to commencement of development.

Condition 32 (Noise Mitigation) – must be adhered to. Plans show mitigation.

Condition 7 (Removal of PD rights), Condition 11 (replacement planting), Condition 14 (unexpected contamination), Condition 15 (Soil Importation), Condition 16 (Submission of Phasing Plan), Condition 28 (Piling Foundations), Condition 30 (archaeological report), Condition 31 (Residents travel information), Condition 35 (Foul and surface water scheme) these conditions remain relevant, and must be adhered to/details submitted prior to commencement of development.

Condition 13, 24, 25, 27, 29, 33, 34 are not relevant to Site 1.

Section 106 requirements

The outline permission is subject to a detailed Section 106 Agreement which ties the outline permission 18/2153N with the planning and LBC permission for Doddington Hall (18/5806N and 18/5903N).

It is noted that the Ward Council and Parish council raised concerns that the S106 triggers are not being met and have also requested a Monitoring Team to be set up.

The S106 Agreement includes a number of trigger points for various parts of the scheme to be dealt with. The relevant S106 triggers in relation to this application are;

- Provide an open space scheme (includes LEAP for site 1)

As set out above the Open Space provision provided is largely acceptable and this criterion has been met.

All other requirements of the S106 relate to either prior to the commencement of development or any heritage works being carried out; specific to the heritage works; or specific to the separate site. There are a number of triggers which will need to be met, prior to any physical development being carried out or any money is raised from financing or selling the development sites. A Monitoring Team is intended to be set up which will include the S106 monitoring officer.

SUMMARY/CONCLUSION

The application site is located within the open countryside as set out in the development plan. The appeal inspector concluded that the proposals met the exception PG 6 (vi) *For development that is essential for the conservation and enhancement of a heritage asset*. The principal of development has already been accepted on this site for 18 dwellings as part of a larger scheme of 112 dwellings around the Doddington Hall estate.

As set out above, outline planning permission was granted on appeal for the Development of 12 no. sites for residential development for 112 no. dwellings with means of access and layout included, but with all other matters reserved, for a 10 year phased release and delivery period and associated community betterment (parking overspill next to School, enhanced parking next to Church, permissive pedestrian paths, play space, public access, community orchard, educational contribution and affordable housing).

The outline application was granted permission as part of a wider 'enabling development' scheme to enable the restoration and conversion of the Grade I Doddington Hall and Grade II stables into a Hotel and Spa. The scheme also includes the restoration of Grade I Delves Tower/Hall and restoration of the Grade II* Star Barn. The permission is subject to a detailed S106 legal agreement which links the outline planning permission 18/2153N to the Doddington Hotel permissions 18/5806N and 18/5903N.

Permission was granted for a detailed outline which included layout and access, with all other matters, appearance, landscaping and scale reserved for a future submission. The outline permission was also subject to a detailed design code for each site which was conditioned.

The application site (Site 1) is located off London Road, Bridgemere. The site is located within the Open countryside. The site has a site area of 2.81ha and includes outline permission for 18 dwellings and a LEAP.

The principle of development has already been accepted on this site for 18no dwellings. Therefore, the main issues of this application are whether the reserved matters of appearance, landscaping, and scale are acceptable. The purpose of this application is to agree the outstanding reserved matters.

The application accords with the outline permission and therefore is considered to be acceptable.

Subject to conditions it is considered that the design, landscape, LEAP provision, ecology impact and surface water drainage scheme are acceptable.

The proposed access/parking and impact on neighbouring and future occupier amenity has been fully considered and is considered to be acceptable.

As set in the assessment section, there are some outstanding issues in relation to the forestry impact however it is considered likely that these can be dealt with by means of an update to committee and condition.

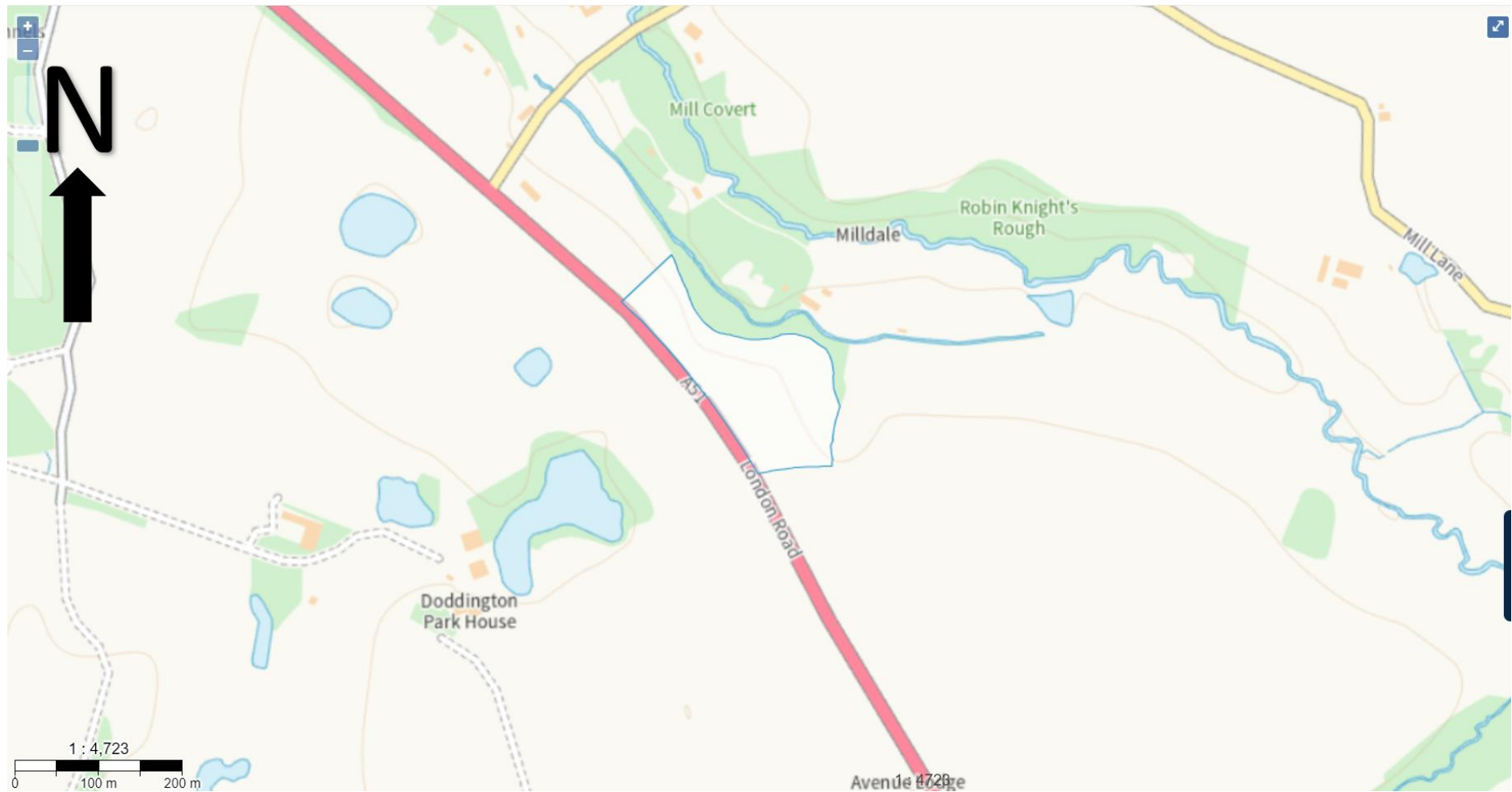
It is therefore considered that subject to conditions, and the submission of the updated AIA and AMS, the proposal is acceptable and in accordance with the outline permission and the relevant policies of the Development Plan and is recommended for approval accordingly.

RECOMMENDATION

APPROVE with the following conditions:

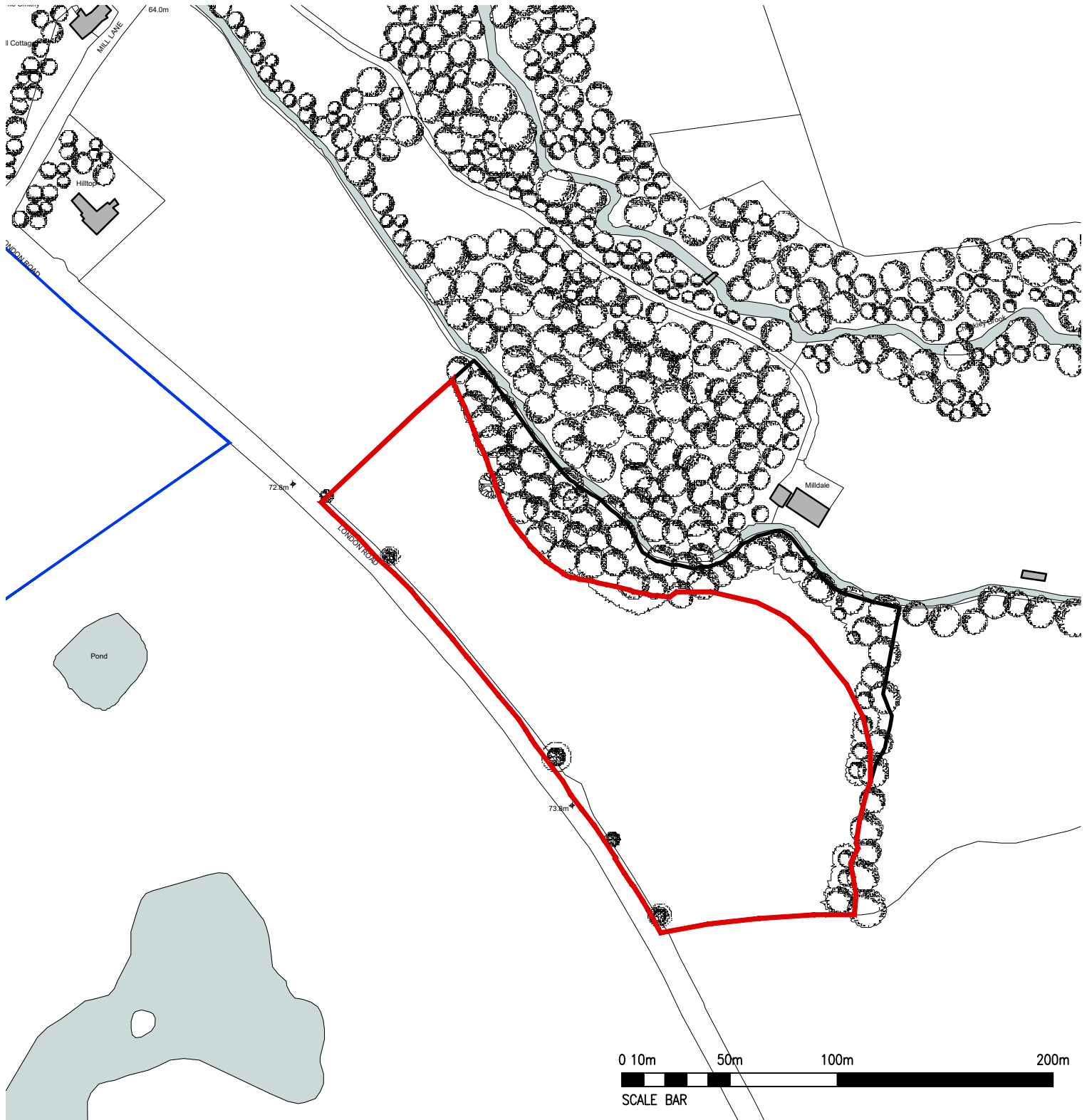
- 1. Standard Reserved matters**
- 2. Approved plans**
- 3. Updated Landscape scheme – to include full details of advanced planting**
- 4. Updated Boundary Treatment scheme – including plots 15 and 16**
- 5. Updated Landscape Management Plan**
- 6. Hard surfacing materials**
- 7. LEAP Management Plan**
- 8. All facing and roofing material samples to be submitted, including for lintels and sills. Sample panel to be provided on site and retained for the duration of development**
- 9. Full details of doors and windows and fascia's**
- 10. Full details of Rainwater goods**
- 11. Detail of setts and kerbs to be submitted with hard landscape plans**
- 12. Updated CEMP**
- 13. Foul Drainage scheme – not to impact on root protection area or ecological areas**
- 14. Surface water drainage scheme to be implemented**
- 15. Safeguarding nesting birds**
- 16. Visitor parking to be made available for use prior to first use of the LEAP and retained**
- 17. Updated lighting plan**
- 18. Updated AIA and AMS**

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning (Regulation), in consultation with the Chair (or in their absence the Vice Chair) of Southern Planning Committee, to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.

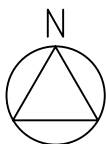



24/1297N

Doddington Estate, Bridgemere
Lane, Bridgemere



Site 1: Site Location_1:2500



Date: 02/04/2024				Checked by: AV		Sheet Name: Site 1 - Site Location		Project No: 8877		Revision: P1	
Drawn by: GB				Scale @ A4: 1:2500		Purpose of issue: Planning		Status: ZZ		Drawing No: 8877-BOW-S1-00-DR-A-P002	
<div>All dimensions to be verified on site, and the Architect informed of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan; all conflicts should be reported to the appointed Principal Designer.</div>						<div>Lady Rona Delves Broughton Doddington Estate Residential Site 1 London Road</div>					
<div>Do not scale from this drawing. This drawing is the copyright of Bowman Riley Architects Limited. ©</div>						<div> ARCHITECTS • BUILDING CONSULTANTS • INTERIORS</div>					
Revision		Date		By		Chk					



Area Schedule - Site 1		
Name	House Type	Site Plot Area
LEAP	N/A	400 m ²
S1-01	4B-A2	913 m ²
S1-02	4B-A3	700 m ²
S1-03	4B-A3	576 m ²
S1-04	4B-A1	961 m ²
S1-05	4B-A2	1200 m ²
S1-06	5B-A1	1777 m ²
S1-07	5B-A2	2325 m ²
S1-08	5B-A1	2141 m ²
S1-09	5B-A2	2339 m ²
S1-10	4B-A2	1125 m ²
S1-11	4B-A1	1069 m ²
S1-12	4B-A1	817 m ²
S1-13	4B-A3	963 m ²
S1-14	4B-A1	925 m ²
S1-15	4B-A2	921 m ²
S1-16	4B-A1	747 m ²
S1-17	4B-A2	797 m ²
S1-18	4B-A1	943 m ²

House Type Schedule - Site 1	
House Type	
4B-A1	
6	
4B-A2	
5	
4B-A3	
3	
5B-A1	
2	
5B-A2	
2	
N/A	
1	
Grand total: 19	

Proposed Advanced landscaping planting will be installed to strengthen / gap up hedrows along the street frontage

Proposed Advanced landscaping planting will be installed to strengthen / gap up hedrows along the street frontage

Details refer to drawings and specifications prepared by Timberplay Ltd.

BOWMAN RILEY LAYOUT CHANGES

Plot S1-01:
The dwelling and garage have been pushed approximately 1.7m northwest from the approved outline consent to accommodate adjustments to Plot S1-02 for compliance with LEAP play space requirements.

Plot S1-02:
This plot, adjacent to the LEAP play area, has been moved 5.8m back to ensure the required 10m buffer from the play space boundary is achieved.

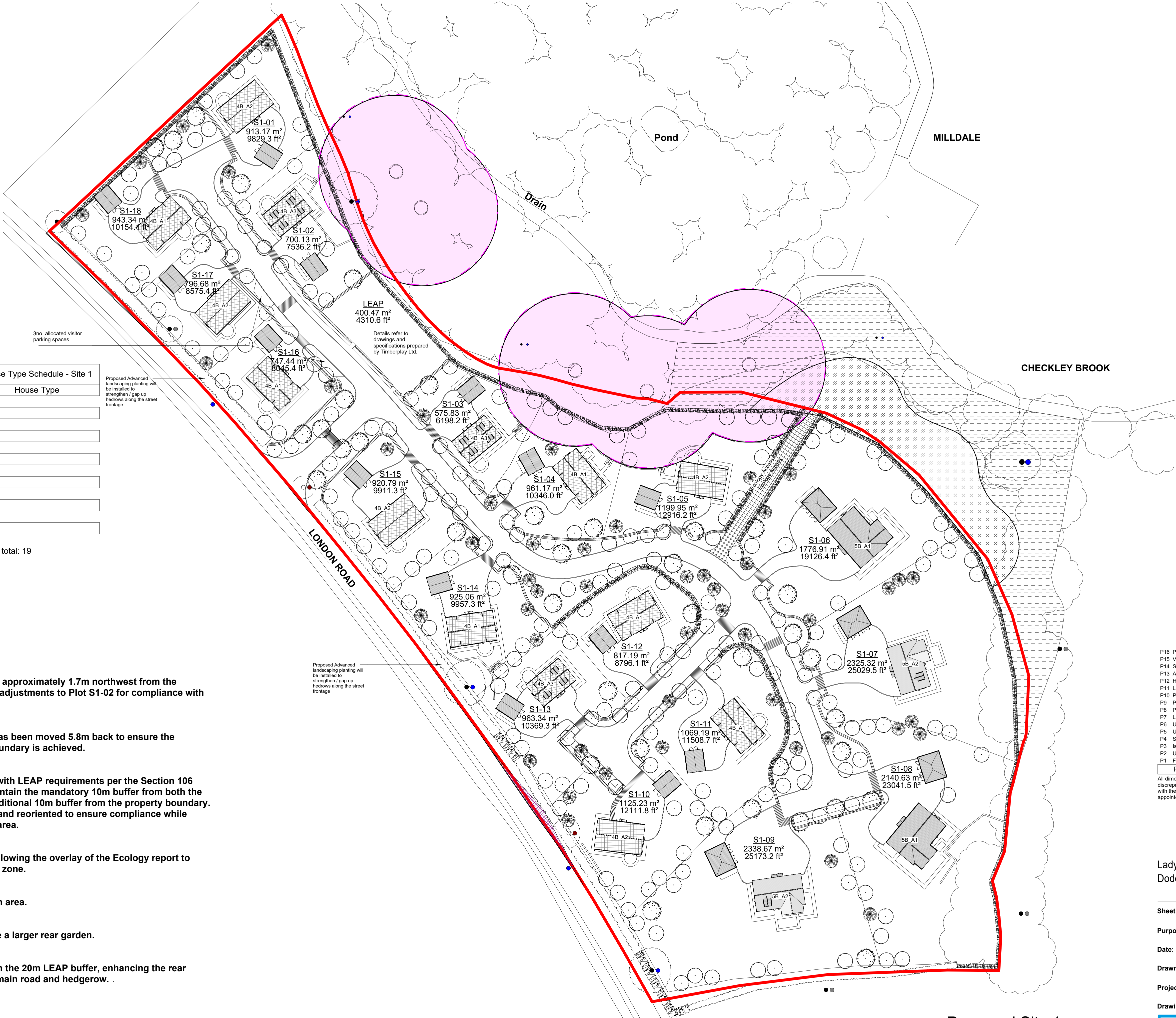
Plot S1-03:
This plot has been repositioned to comply with LEAP requirements per the Section 106 agreement. The property was shifted to maintain the mandatory 10m buffer from both the play area and the dwelling, as well as an additional 10m buffer from the property boundary. The house and garage have been adjusted and reoriented to ensure compliance while enhancing passive supervision of the play area.

Plots S1-04 & S1-05:
Both plots have been shifted 1-2m south following the overlay of the Ecology report to avoid conflicts with the designated ecology zone.

Plot S1-11:
Moved 3m south to increase the rear garden area.

Plot S1-12:
The house has been south by 2m to provide a larger rear garden.

Plot S1-16:
Plot has been moved 2.5m north to maintain the 20m LEAP buffer, enhancing the rear garden while increasing distance from the main road and hedgerow. .



LINE TYPES KEY

- Site Boundary Line
- Plot Boundary Line
- Tree Root Protection Zone
- Rights of Way
- Ecology Zone
- Overhead Cable



Please consult the landscape plans for the positioning of trees and other plantings. The BR drawings provide the proposed tree placements as indicative of the outline consent.

P16 Plot 2 moved out of RPZ zone	22/11/24	MB	TP
P15 Visitor Parking Included	15/11/24	GB	TP
P14 Submitted for Planning	31/10/24	GB	TP
P13 Area Update	01/10/24	GB	TP
P12 House Type Update	27/09/24	GB	TP
P11 Layout Update	20/09/24	GB	TP
P10 Planning Officer Comments	28/08/24	GB	TP
P9 Planning Issue	04/04/24	GB	AV
P8 Planning Issue	03/04/24	GB	AV
P7 Layout Update	22/03/24	GB	AV
P6 Updated to contours	09/02/24	AV	AV
P5 Updated to ecology & flood risk	22/01/24	EA	AV
P4 Site Plot title added & Road name	07/12/23	EA	AV
P3 Issue for Landscape Arch	21/11/23	AV	AV
P2 Update Issue	21/10/23	ND	AV
P1 First Issue	06/10/23	EA	AV

All dimensions to be verified on site, and the Architect informed of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan; all conflicts should be reported to the appointed Principal Designer.

Lady Rona Delves Broughton
Doddington Estate Residential

Sheet Name: Proposed Site 1

Purpose of issue: Planning Status:

Date: 02.10.23 Checked by: TP

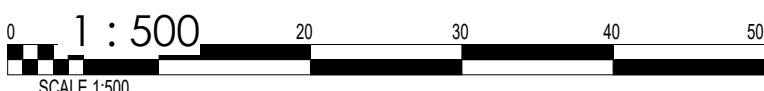
Drawn by: GB Scale @ A1: 1 : 500

Project No: 8877 Revision: P16

Drawing No : 8877-BOW-S1-00-DR-A-P101



Proposed Site 1



KEY & NOTES



Existing Woodland

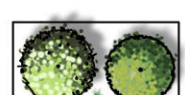


Existing Individual Trees



Existing Native Species Hedgerow

Hedgerows to be retained, maintained and gapped up where necessary (as indicated)



Proposed Trees

New trees to include a mix of native and ornamental species trees selected for their variety of form, colour and texture.

Native species trees are to be located within all communal areas and within private garden areas, whereas ornamental species trees are to be located within private garden areas only.

Native species trees within communal areas are to be planted as 12-14cm heavy standards (with the exception of Pinus sylvestris which is to be planted at a size of 2-2.5m high). Native and ornamental species trees within private garden areas are to be planted as 10-12cm selected standards. All trees to be supported with a single timber stake and secured with an appropriate tie and spacer.

Species to include:

- Acer campestre
- Alnus cordata
- Betula pendula
- Betula utilis jacqmontii multistem (2.5m high rootballed)
- Carpinus betulus
- Liriodendron tulipifera
- Pinus calleryana 'Chanticleer'
- Pinus nigra
- Pinus sylvestris
- Prunus serotina Kanzan
- Sorbus aria
- Sorbus aucuparia
- Quercus robur

Acer campestre

Alnus cordata

Betula pendula

Betula utilis jacqmontii multistem (2.5m high rootballed)

Carpinus betulus

Liriodendron tulipifera

Pinus calleryana 'Chanticleer'

Pinus nigra

Pinus sylvestris

Prunus serotina Kanzan

Sorbus aria

Sorbus aucuparia

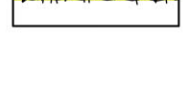
Quercus robur

Proposed Ornamental Hedgerows

Beech, Fagus sylvatica, 90-120cm high, bare root, 5no plants per linear metre on a double staggered row circa 250mm apart. Front boundaries and front side boundaries are to be defined/secured by post and rail fences - on front boundaries, the new hedgerow is to be positioned in front of the fence, whereas on front side boundaries, the fence should be positioned to one side of the new hedgerow



Yew, Taxus baccata, 1-1.2m high, RB, A Grade bushy stock, 3.5 per linear metre planted in a single line



Proposed Native Species Hedgerows

Corylus avellana 15% - 60-90cm br
Crataegus monogyna 50% - 60-90cm br
Ilex aquifolium 10% - 60-80cm - 3it eg
Prunus spinosa 20% - 60-90cm br
Viburnum opulus 5% - 60-90cm br
5no plants per m in groups of up to 5, on a double staggered row, circa 250mm apart.



Proposed Ornamental Shrub Borders

A selection of shrubs, herbaceous plants, climbers and ground cover chosen for their site suitability, form, texture and colour.

Specimen Shrubs:

Acer palmatum 'Bloodgood' 150-180cm high 35L

Hydrangea 'White Wave' 40-50cm 10L

Magnolia stellata 125-150cm 20L

Shrub Species:

Aucuba japonica 30-40cm 5it 3no/eq m

Azalea decidua 40-60cm 7.2it 3no/eq m

Azalea japonica 30-40cm 5it 3no/eq m

Chiosia temata 'Sundance' 30-40cm 3it 3no/eq m

Cornus 'Elegantissima' 60-80cm 3it 3no/eq m

Hydrangea macrophylla 20-30cm 5it 3no/eq m

Lavandula 'Hidcote' 20-30cm 3it 3no/eq m

Photinia Red Robin 60-80cm 5it 3no/eq m

Skimmia rubella 20-30cm 5it 3no/eq m

Viburnum davidii 30-40cm 5it 3no/eq m

Herbaceous Species:

Alchemilla mollis 20-30cm 2it 3no/eq m

Euphorbia vulcani 20-30cm 2it 3no/eq m

Euphorbia robilae 20-30cm 2it 3no/eq m

Geranium 'Johnson's Blue' 20-30cm 2it 3no/eq m

Heuchera 'Palace Purple' 20-30cm 2it 3no/eq m

Sedum 'Autumn Joy' 20-30cm 2it 3no/eq m

Climbers:

Cotoneaster horizontalis 20-30cm 3it 1m centres

Hydrangea petiolaris 80-100 3it 2m centres

Parthenocissus 'Veitchii' 80-100 3it 2m centres

Pyracantha Mohave 80-100 3it 2m centres



Lawn Areas

Private front lawn areas to be turfed with 'Festival' by Allfurf or suitable equivalent

Private rear and side lawn areas to be seeded with Greenf2 or suitable equivalent

Public areas to be seeded with Greenf2 or suitable equivalent



Proposed Native Species Understorey Planting within Ecology Zone

Corylus avellana 40% - 60-90cm br transplant

Crataegus monogyna - 50% - 60-90cm bareroot transplant

Ilex aquifolium 10% - 3it container grown

Plants to be notch planted (noly to be pit planted) and protected with biodegradable rabbit guards (noly to be protected by appropriate tree shelters



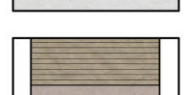
Proposed Wildflower Grass within Ecology Zone

Areas of existing undisturbed grassland to be scarified prior to overseeding with Emorsgate EM2 General Purpose Meadow Mixture or suitable equivalent



Proposed Buildings

Refer to drawings by Bowman Riley Architects for further details



Proposed Driveways

Stabilised loose gravel using StablePave/Cedagravel with 'Tower' sandstone kerbs (Tower from Hardscape or suitable equivalent) with a 70mm upstand. Gravel to be 5-16mm, typically 10mm flint from CED Ltd (cedstone.co.uk) or suitable equivalent



Proposed Access Road

Tarmacadam surfacing to engineers specifications



Proposed Threshold and Shared Surfaces to Cul-de-sacs

Thresholds to be reclaimed setts and shared surfaces to be block paving pattern

Tobemore Tegula Braden or suitable equivalent



Proposed Driveway Entrances

Tarmalised prior: pairs heading entrances to be 1.2m high, 250mm x 250mm square with a four-way weathered top, and a reclaimed setts threshold surfacing



Proposed Paths and Patios

Natural stone paving flags - stone to be buff sandstone to match stone on house elevations - Forest Mixed from Hardscape or suitable equivalent.

Flags to be laid in 400mm courses with random lengths max 900mm min 300mm. Patios to have central feature panels in contrasting natural stone

Please see Boundary Treatment Layout for fence, railing and wall details

TREES		Code	Size in cm	Root Condition	Pot size (C)	Total
Native trees						
Acer campestre	Field maple	ACE CAM	12-14 girth	RB		23
Acer campestre	Field maple	ACE CAM	10-12 girth	RB		16
Betula pendula	Silver birch	BET PEN	12-14 girth	RB		12
Betula pendula	Silver birch	BET PEN	10-12 girth	RB		14
Carpinus betulus	Hornbeam	CAR BET	12-14 girth	RB		10
Carpinus betulus	Hornbeam	CAR BET	10-12 girth	RB		13
Pinus sylvestris	Scots Pine	PN SYL	2-2.5m High	CG		28
Sorbus aria	Whitebeam	SOR ARI	12-14 girth	RB		20
Sorbus aria	Whitebeam	SOR ARI	10-12 girth	RB		11
Sorbus aucuparia	Rowan	SOR AUC	12-14 girth	RB		11
Sorbus aucuparia	Rowan	SOR AUC	10-12 girth	RB		18
Quercus robur	Oak	QUE ROB	12-14 girth	RB		15
Quercus robur	Oak	QUE ROB	10-12 girth	RB		10
Ornamental trees						
Alnus cordata	Italian alder	ALN COR	10-12 girth	RB		14
Betula utilis jacquemontii	Himalayan birch	BET JAQ (MS)	2.5m High	RB		10
Liriodendron tulipifera	Tulip tree	LIR TUL	10-12 girth	RB		15
Pinus calleryana 'Chanticleer'	Pear	PYR CHA	10-12 girth	RB		18
Pinus nigra	Austrian pine	PN NIG	2.5m High	CG		22
Prunus 'Kanzan'	Cherry 'Kanzan'	PRU KAN	10-12 girth	RB		23

* Tree pit details and drainage requirements to be confirmed prior to planting.

* All trees to be standard clear stemmed to 2m unless otherwise specified:

(MS) = Multiple stemmed

HEDGES	Code	Size in cm	Root Condition	Density/Spacing	Final height	Notes	Total
Evergreen							
Taxus baccata (A Grade bushy stock)	TB	100-120cm	10L / RB	3.5No / linear m	1.2m	Planted in a single row	389
Deciduous							
Fagus sylvatica	FS	90-120cm	Bare root	5No / linear m	1.2m	Double staggered row circa 250mm apart	2537

To be trimmed lightly after planting to promote bushy growth.

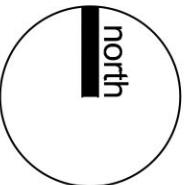
Native Species Hedgerows		Code								
		NH 1	NH 2	NH 3	NH 4	NH 5	NH 6	NH 7	NH 8	NH 9
Corylus avellana	15%	56	148	29	30	133	37	41	18	6
Crataegus monogyna	50%	189	495	97	101	445	124	136	58	22
Ilex aquifolium	10%	38	99	20	20	89	25	27	12	4
Prunus spinosa	20%	75	198	39	41	178	50	55	23	9
Viburnum opulus	5%	19	50	10	10	45	12	14	6	2
Total		377	990	195	202	890	248	273	117	43

5no plants per lin m in groups of up to 5, on a double staggered row, circa 250mm apart.

Metres
05 10 15 20 25 30 35 40 50

SCALE 1:500

This layout including driveways, plot entrances, plot arrangements and access roads remain consistent with that presented within the outline application (as prepared by Assael architects) and subsequently approved at public inquiry.



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DWG NO. M3725-PA-01-V04
DWG TITLE: Site 1 Landscape Layout

CLIENT: Lady Rona Dalves BroughtonDoddington Hall Housing Sites

PROJECT TITLE: Lady Rona Dalves BroughtonDoddington Hall Housing Sites

CHECKED BY: JH / NF

DRAWN BY: DY

DATE: 03.2024

SCALE: 1:500@A1

Unit 6, Longley Lane
Northenden, Manchester
M22 4WTT: 0161 946 0808
E: design@barneswalker.co.uk
W: www.barneswalker.co.ukbarnes
BARNES
WALKER

● Ground plan, scale 1:200 - - - Falling space according to EN standard



Important note for customers!
The contractor has to check on site if all conditions (required space existing space etc.) for the installation of the equipment are ensured, also supply pipes (in ground or overhead cables) and other

Recommendation for the installation of slides:
Do not install slides with sliding direction between southeast and southwest, because of heating up the material – if it is not possible,

Dimensions:
All dimensions are shown in centimetres unless otherwise stated.

Legend:

Play Equipment

- ① 6.14520 Cradle Nest Special
- ② L2.49000 Tower Combination 49
- ③ 7.83001 Comes Around 1
7.83002 Comes Around 2
- ④ 7.26000 Rotating Disc
- ⑤ L6.82003 Stepping log, h = 0.3m x2
L6.82004 Stepping log, h = 0.4m x2
L6.82005 Stepping log, h = 0.5m
- ⑥ L4.10100 Small Play House
- ⑦ 4.24150 Swinging Horse, with pre-cast foundation
- ⑧ 4.24240 Duck Family

Surfacing and Features

- Wet Pour
- Bark Pit
- Grass
- Grass Matting
- Timber Edging
- Boulder
- Discovery Discs
- Bench
- Bin

A	Submitted	15-11-2024
Rev	Description	Date
Do not scale from this drawing		

Project
**Doddington LEAP Site 1
BOWMAN RILEY / ASNA
Play Proposals**

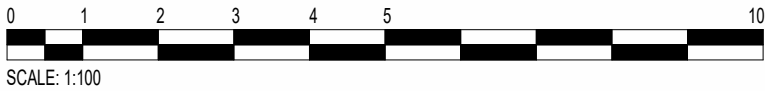
Drawing
Title
**DODDINGTON LEAP SITE 1
General Arrangement Plan**

Scale	Date	Drawn
1:200@A3	15-11-2024	DWM
Quotation Number	TIMQ21422-01	Checked CR

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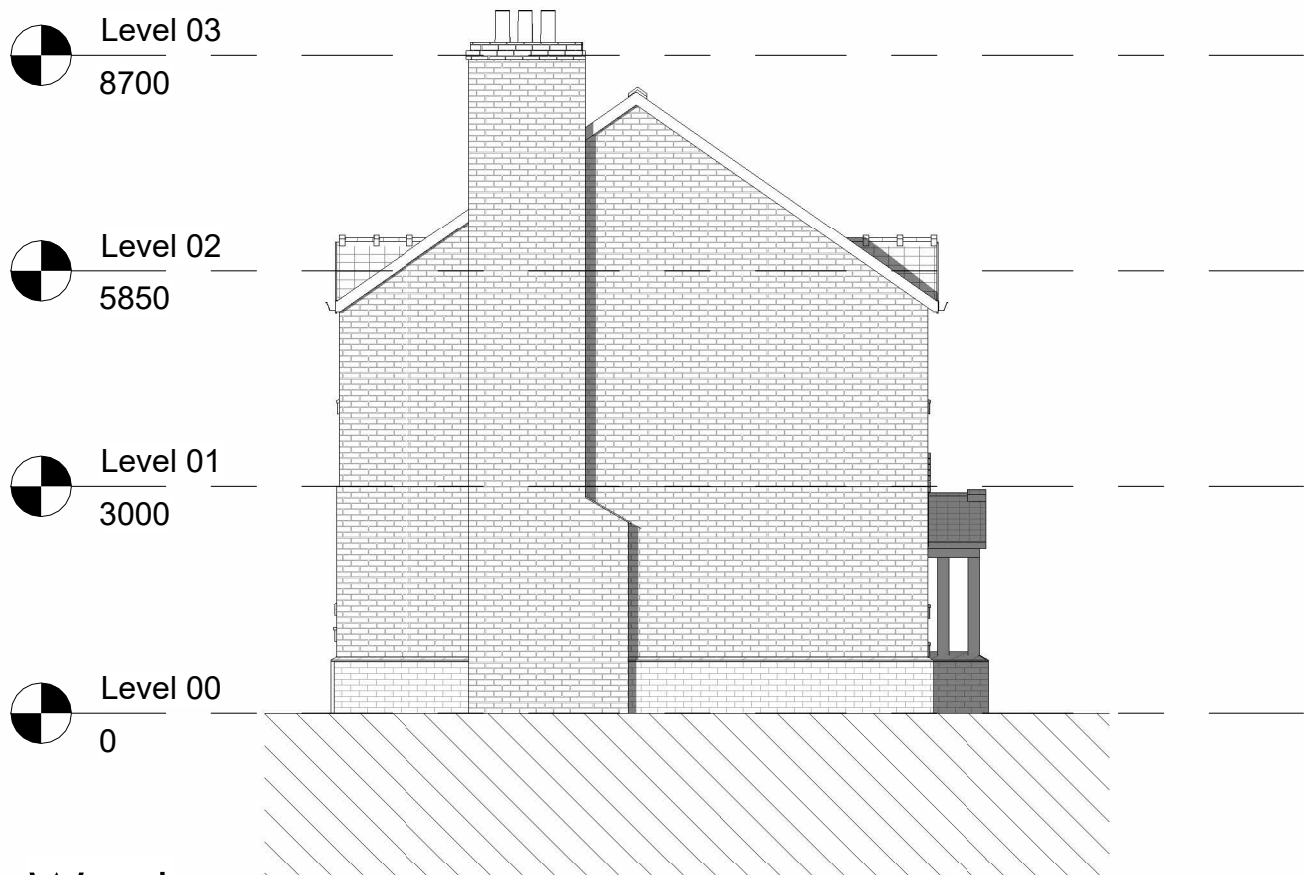
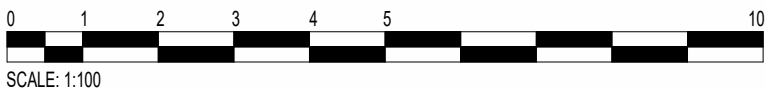
South
1 : 100



East
1 : 100



North
1 : 100



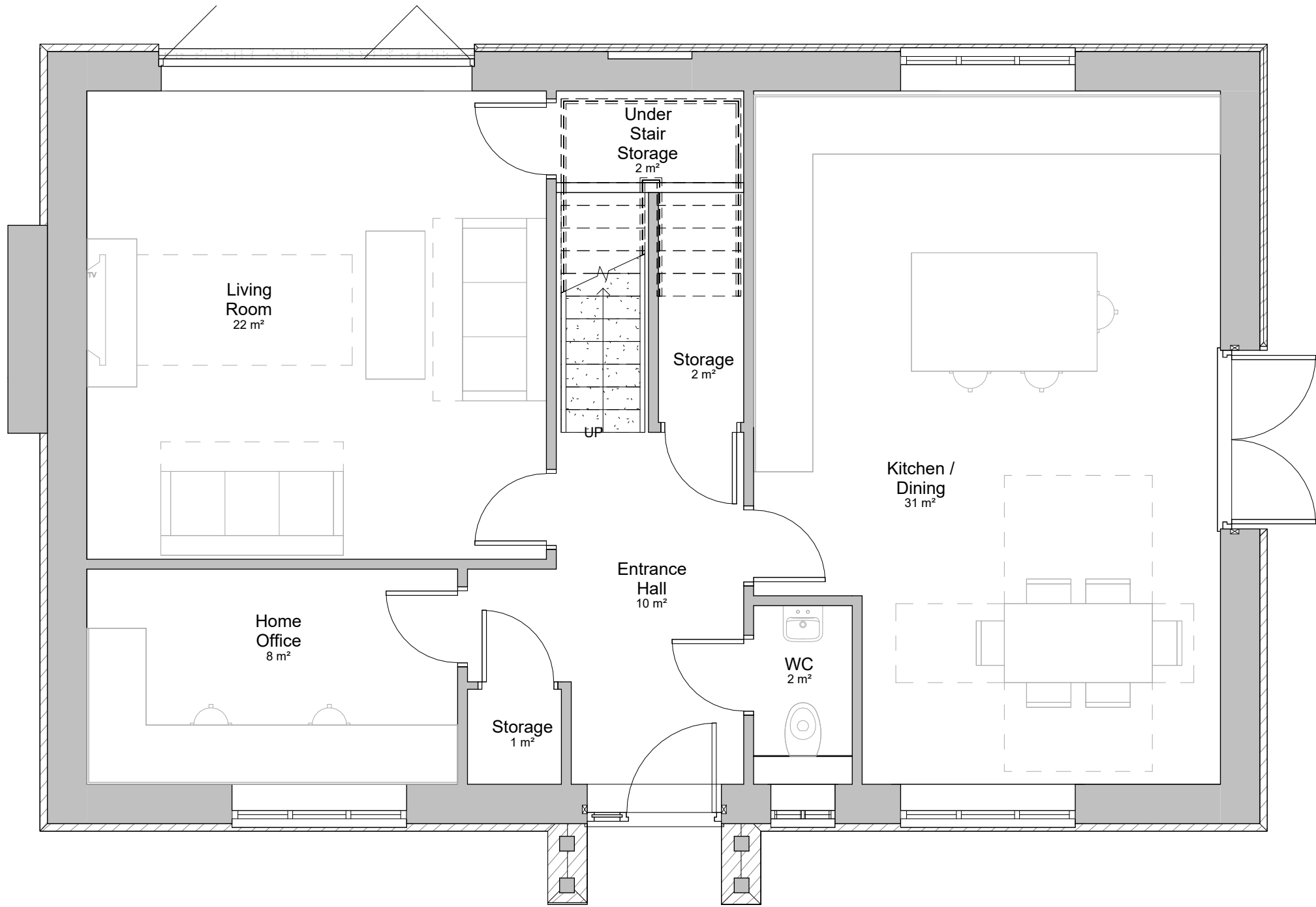
West
1 : 100

House Type - 4B_A1

Date: 09/11/23				Checked by : TP		Sheet Name: 4B-A1 Proposed Elevations		Project No: 8877	Revision: P5
P5	Submitted for Planning	31/10/24	GB	TP	Drawn by: GB	Scale @ A2 : 1 : 100	Purpose of issue: Planning	Status:	Drawing No8877-BOW-4BB1-ZZ-DR-A-P300
P4	GEA Update	01/10/24	GB	TP	All dimensions to be verified on site, and the Architect informed of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan; all conflicts should be reported to the appointed Principal Designer.				
P3	Client Issue	26/09/24	GB	TP					
P2	Planning Design Update	19/09/24	GB	TP					
P1	Layout Update	11/09/24	GB	TP	Do not scale from this drawing. This drawing is the copyright of Bowman Riley Architects Limited©				
	Revision	Date	By	Chk					

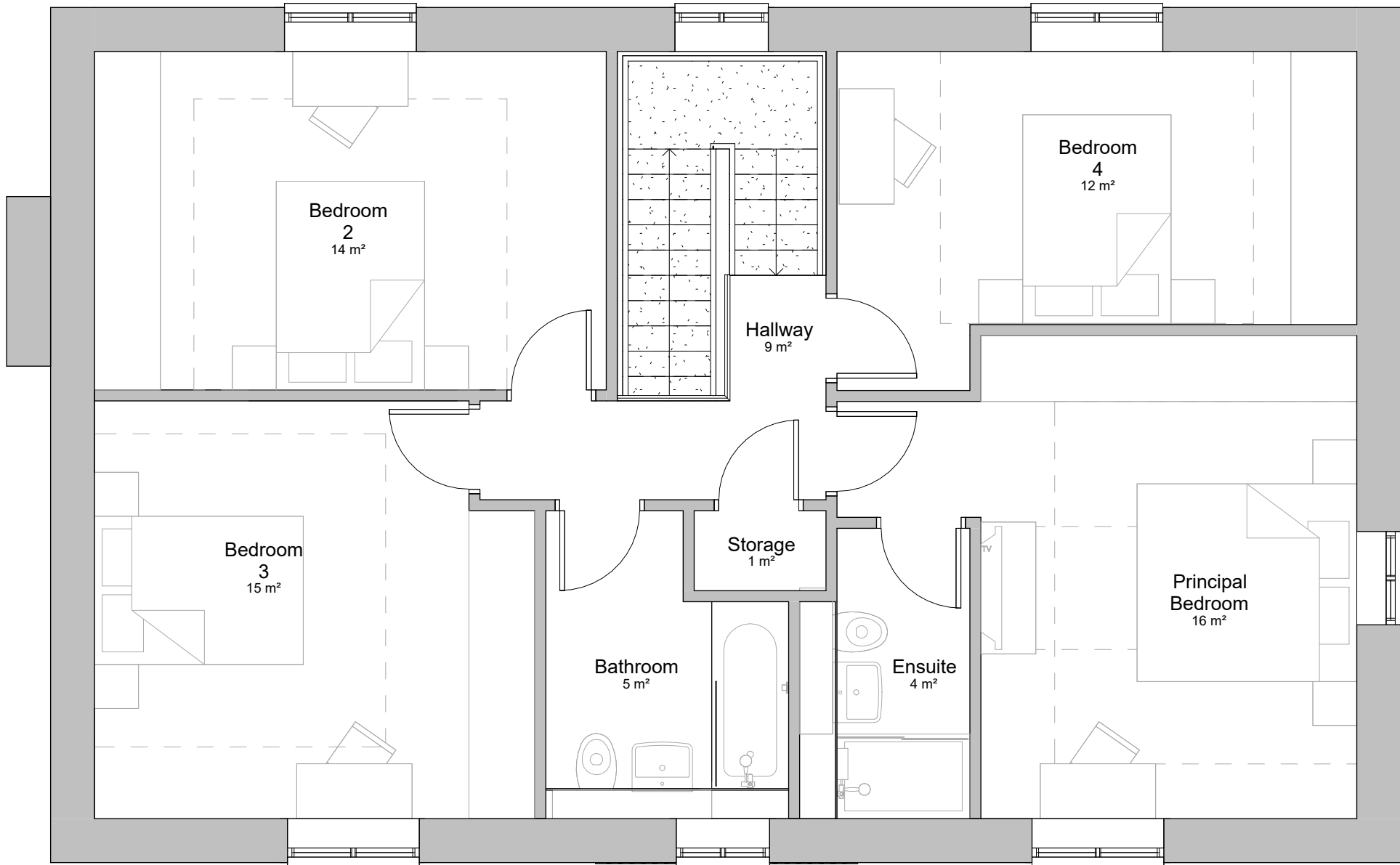
Lady Rona Delves Broughton
Doddington Estate Residential





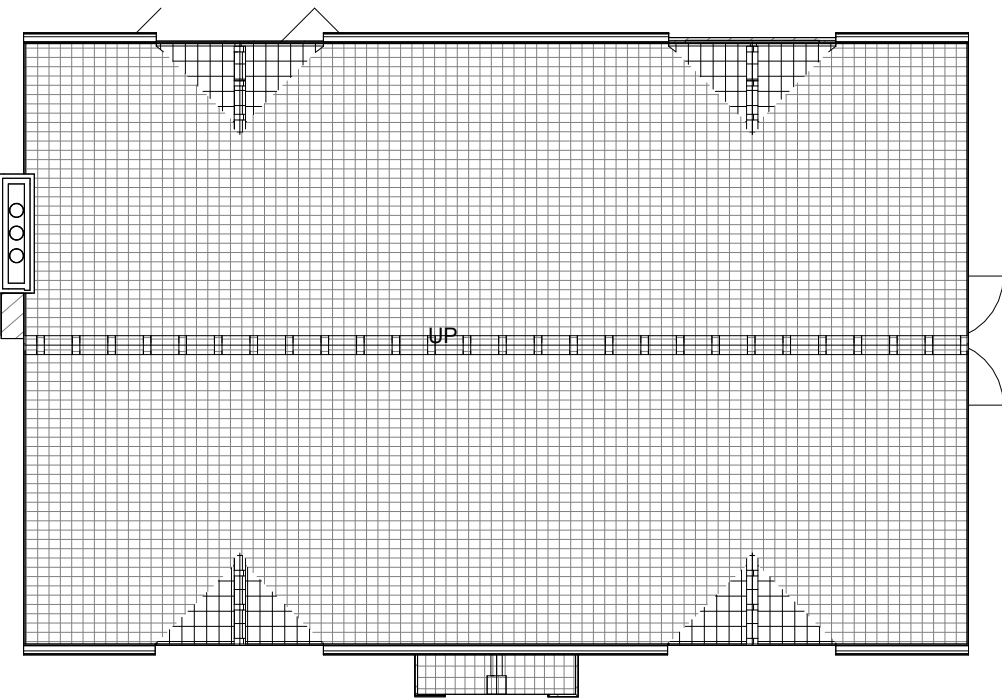
Proposed Ground Floor

1 : 50



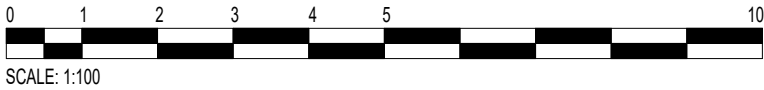
Proposed First Floor

1 : 50



Proposed Roof Plan

1 : 100



Room Schedule	
Name	Area

Kitchen / Dining	31 m²
Entrance Hall	10 m²
Living Room	22 m²
Home Office	8 m²
Storage	1 m²
Storage	2 m²
Under Stair Storage	2 m²
WC	2 m²
Level 00: 8	78 m²

Room Schedule	
Name	Area

Bedroom 4	12 m²
Principal Bedroom	16 m²
Bedroom 3	15 m²
Bedroom 2	14 m²
Bathroom	5 m²
Hallway	9 m²
Storage	1 m²
Ensuite	4 m²
Level 01: 8	77 m²
Grand total: 16	154 m²

House Type - 4B_A1

Area Schedule (GIA)		
Name	Area	Level

GIA Ground Floor	81 m²	Level 00
GIA First Floor	80 m²	Level 01
Grand total: 2	161 m²	

Area Schedule (GEA)		
Name	Area	Level

GEA Ground Floor	100 m²	Level 00
GEA First Floor	100 m²	Level 01
Grand total	200 m²	

P5	Submitted for Planning	31/10/24	GB	TP
P4	GEA Update	01/10/24	GB	TP
P3	Client Issue	26/09/24	GB	TP
P2	Planning Design Update	19/09/24	GB	TP
P1	Layout Update	11/09/24	GB	TP
	Revision	Date	By	Chk

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Lady Rona Delves Broughton
Doddington Estate Residential

Sheet Name: 4B-A1 Proposed Floor Plans

Purpose of issue: Planning Status:

Date: 09/11/23 Checked by : TP

Drawn by: GB Scale @ A2 : As indicated

Project No: 8877 Revision: P5

Drawing No 8877-BOW-4BB1-ZZ-DR-A-P500





Front View



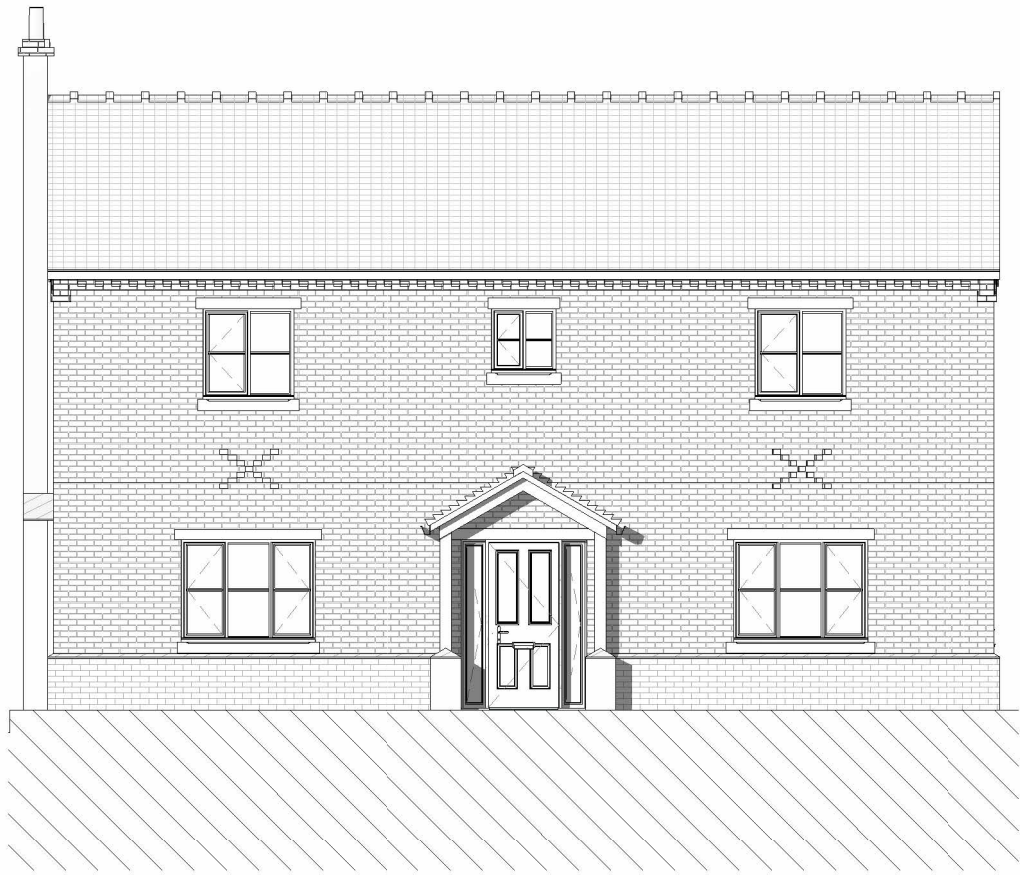
Side View



Rear View

House Type - 4B_A1

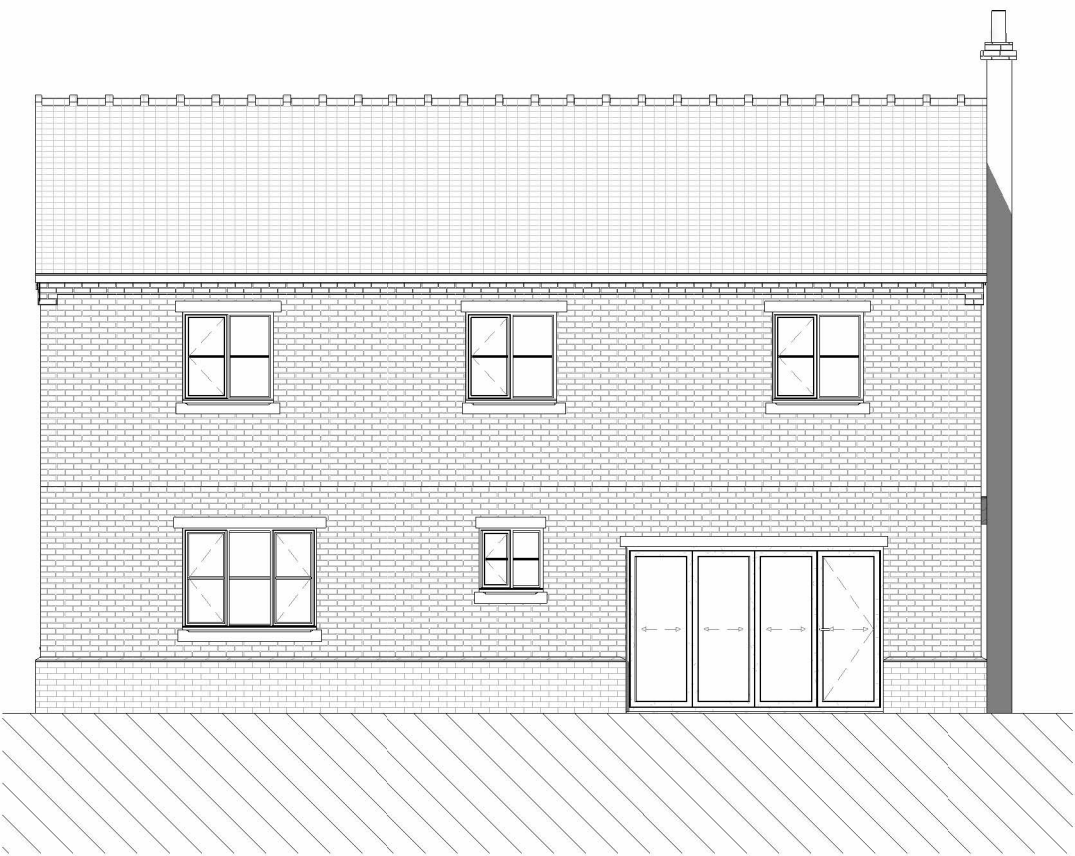
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P4	GEA Update	01/10/24	GB	TP	All dimensions to be verified on site, and the Architect informed of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan; all conflicts should be reported to the appointed Principal Designer.									
P3	Client Issue	26/09/24	GB	TP										
P2	Planning Design Update	19/09/24	GB	TP										
P1	Layout Update	11/09/24	GB	TP	Do not scale from this drawing.									
Revision					Date	By	Chk	This drawing is the copyright of Bowman Riley Architects Limited ©						
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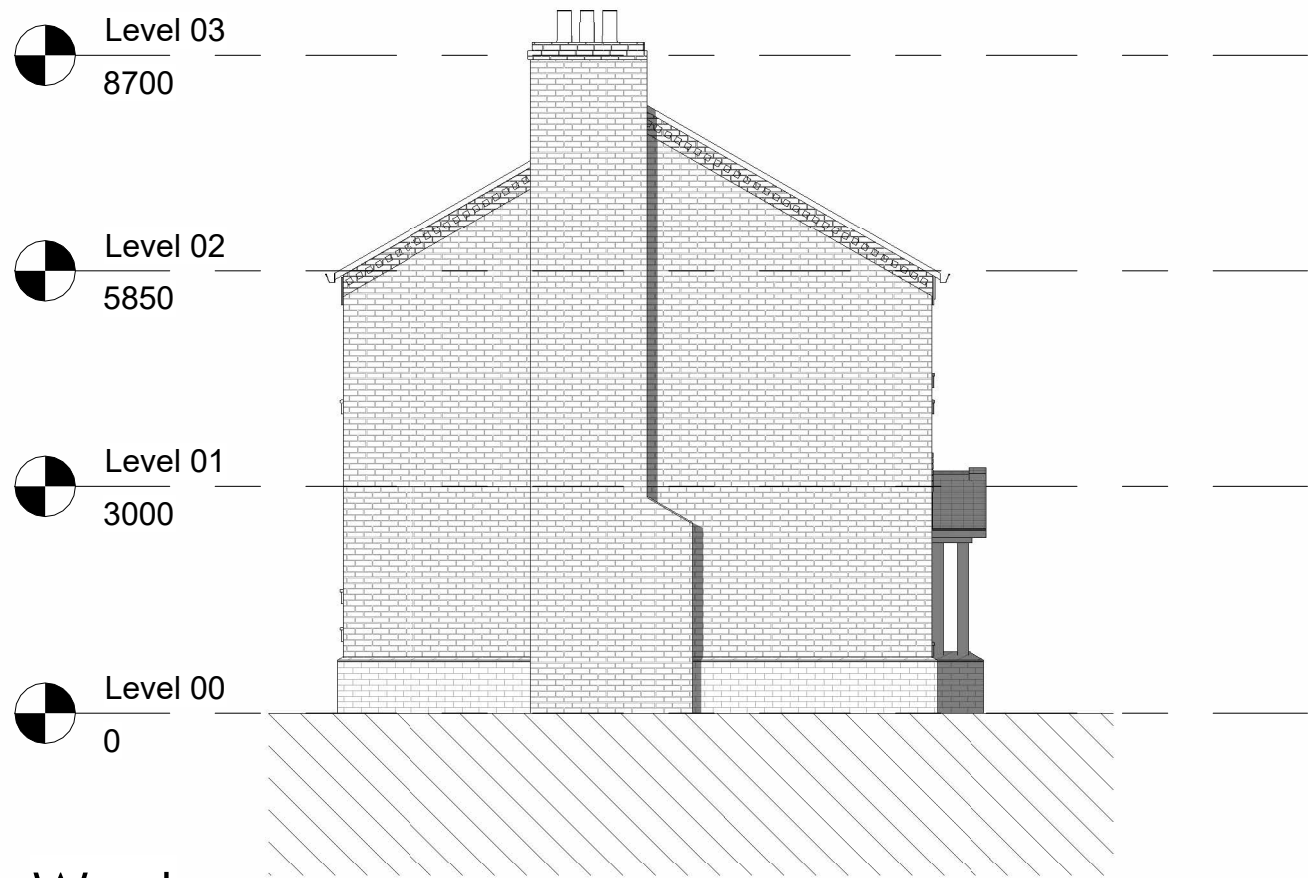
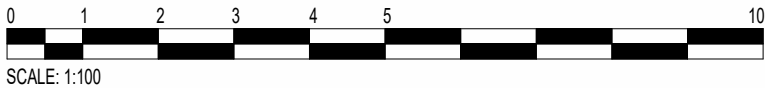
South
1 : 100



East
1 : 100



North
1 : 100

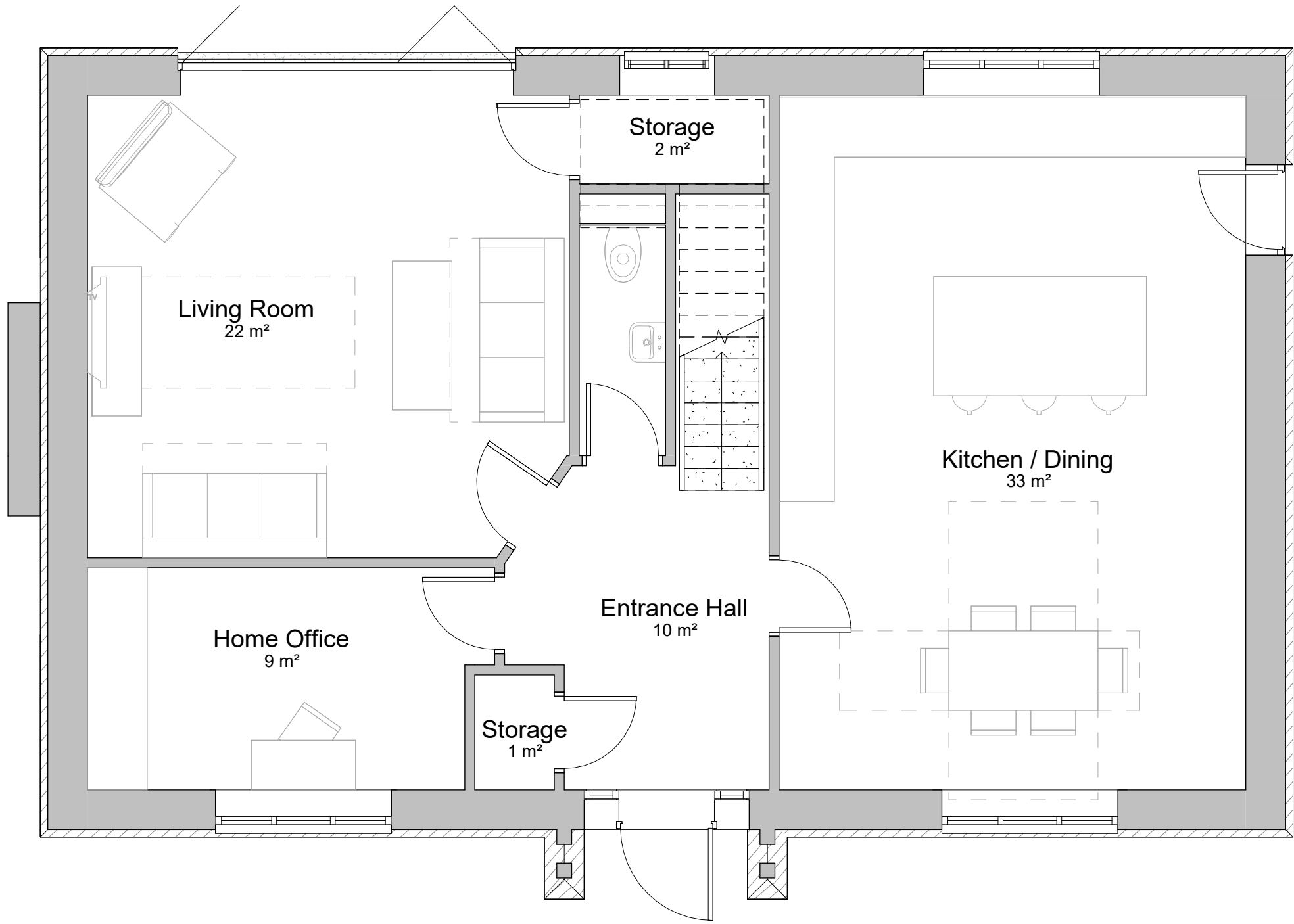


West
1 : 100

House Type - 4B_A2

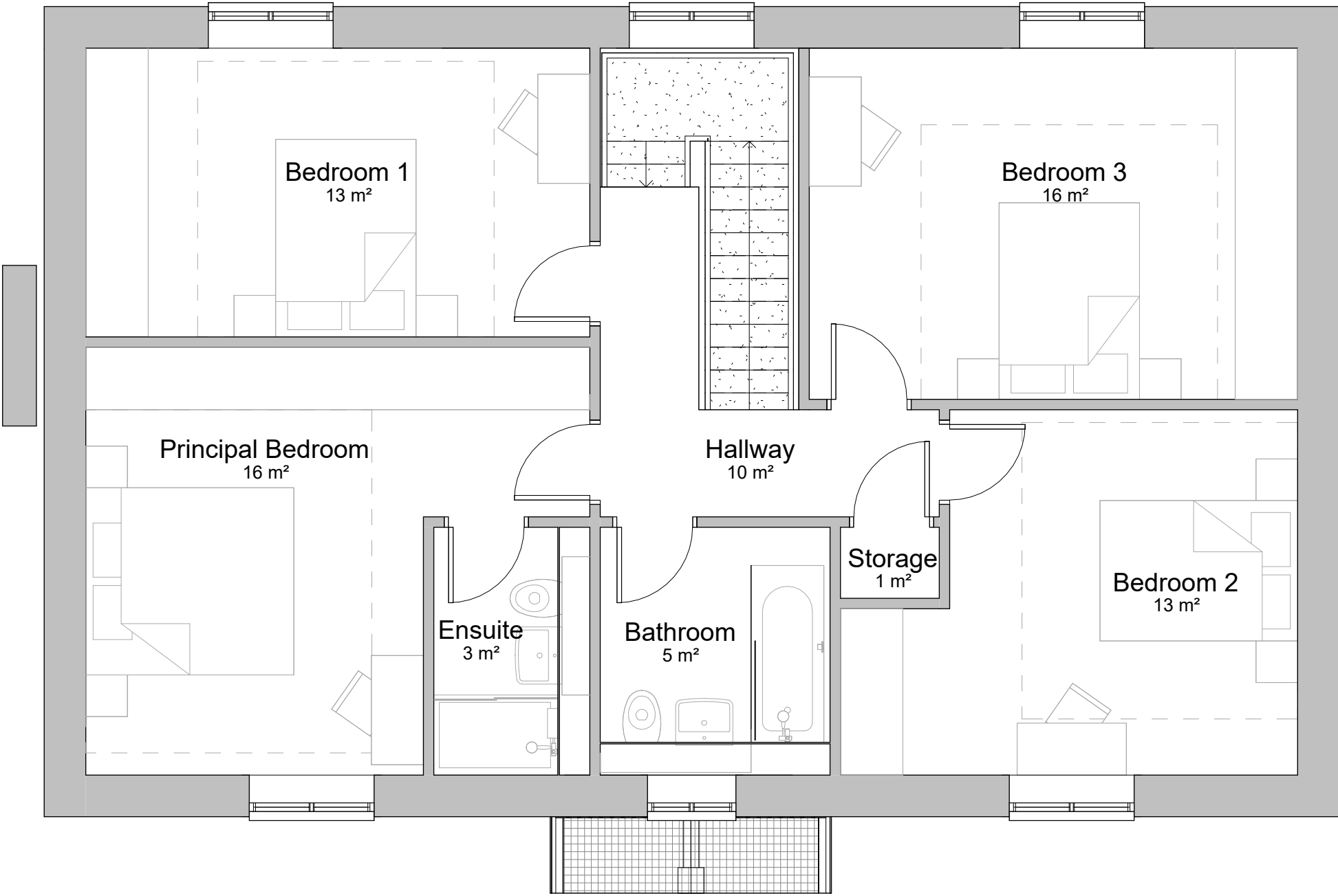
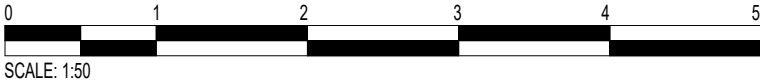
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P6 Submitted for Planning	31/10/24	GB	TP	Drawn by: GB	Scale @ A2 : 1 : 100	Purpose of issue: Planning	Status:	Drawing No8877-BOW-4BB1-ZZ-DR-A-P300
P5 GIA Update	01/10/24	GB	TP	All dimensions to be verified on site, and the Architect informed of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan; all conflicts should be reported to the appointed Principal Designer.				
P4 Design Update	27/09/24	GB	TP					
P3 Client Update	26/09/24	GB	TP					
P2 Planning Design Update	19/09/24	GB	TP					
P1 Layout Update	11/09/24	GB	TP	Do not scale from this drawing. This drawing is the copyright of Bowman Riley Architects Limited ©		Lady Rona Delves Broughton Doddington Estate Residential		
Revision	Date	By	Chk					

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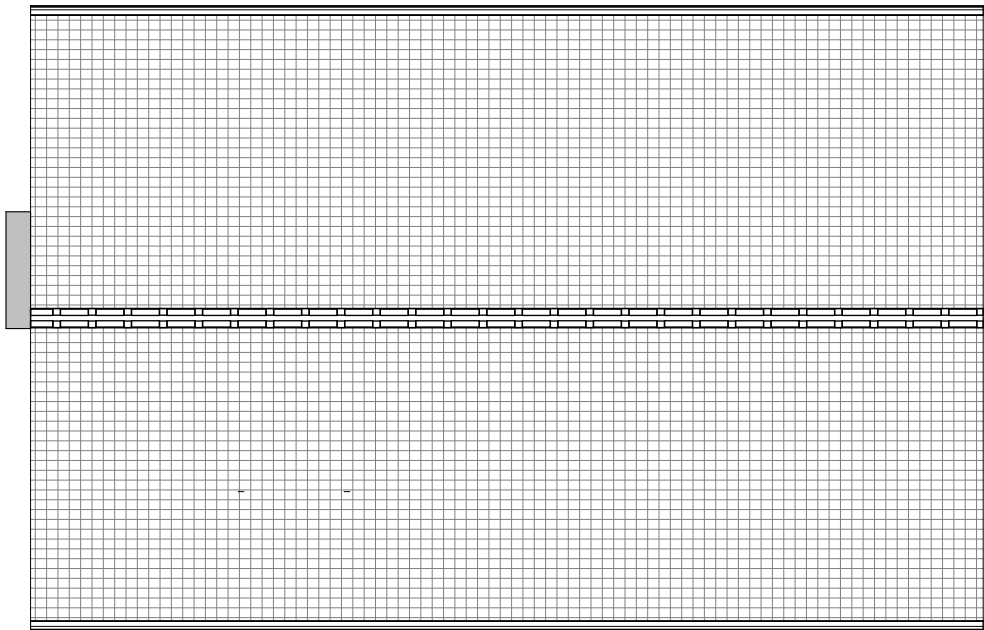
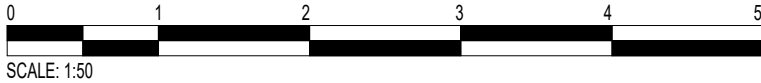
Proposed Ground Floor

1 : 50



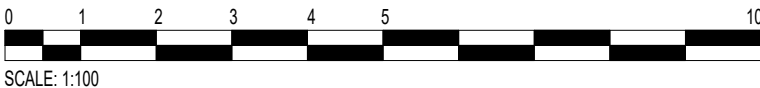
Proposed First Floor

1 : 50



Proposed Roof Plan

1 : 100



Room Schedule	
Name	Area
Kitchen / Dining	33 m ²
Entrance Hall	10 m ²
Storage	1 m ²
Home Office	9 m ²
Living Room	22 m ²
Storage	2 m ²
Level 00: 6	77 m ²

Room Schedule	
Name	Area
Bathroom	5 m ²
Bedroom 2	13 m ²
Bedroom 3	16 m ²
Hallway	10 m ²
Bedroom 1	13 m ²
Principal Bedroom	16 m ²
Storage	1 m ²
Ensuite	3 m ²
Level 01: 8	77 m ²
Grand total	153 m ²

House Type - 4B_A2

Area Schedule (GIA)		
Name	Area	Level
GIA Ground Floor	81 m ²	Level 00
GIA First Floor	81 m ²	Level 01
Grand total: 2	163 m ²	

Area Schedule (GEA)		
Name	Area	Level
GEA Groud Floor	101 m ²	Level 00
GEA 1st Floor	98 m ²	Level 01
Grand total	199 m ²	

P6	Submitted for Planning	31/10/24	GB	TP
P5	GIA Update	01/10/24	GB	TP
P4	Design Update	27/09/24	GB	TP
P3	Client Update	26/09/24	GB	TP
P2	Planning Design Update	19/09/24	GB	TP
P1	Layout Update	11/09/24	GB	TP
	Revision	Date	By	Chk

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Lady Rona Delves Broughton
Doddington Estate Residential

Sheet Name: 4B-A2 Proposed Floor Plans

Purpose of issue: Planning Status:

Date: 09/11/23 Checked by: TP

Drawn by: GB Scale @ A2 : As indicated

Project No: 8877 Revision: P6

Drawing No8877-BOW-4BB1-ZZ-DR-A-P500





Front View



Side View



Rear View

House Type - 4B_A2

P6	Submitted for Planning	31/10/24	GB	TP
P5	GIA Update	01/10/24	GB	TP
P4	Design Update	27/09/24	GB	TP
P3	Client Update	26/09/24	GB	TP
P2	Planning Design Update	19/09/24	GB	TP
P1	Layout Update	11/09/24	GB	TP
	Revision	Date	By	Chk

Date: 09/11/23	Checked by : TP
Drawn by: GB	Scale @ A2 :
All dimensions to be verified on site, and the Architect informed of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan; all conflicts should be reported to the appointed Principal Designer.	
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Sheet Name: 4B-A2 Proposed Visuals
Purpose of issue: Planning
Lady Rona Delves Broughton
Doddington Estate Residential

Project No: 8877	Revision: P6
Drawing No8877-BOW-4BB1-ZZ-DR-A-P501	





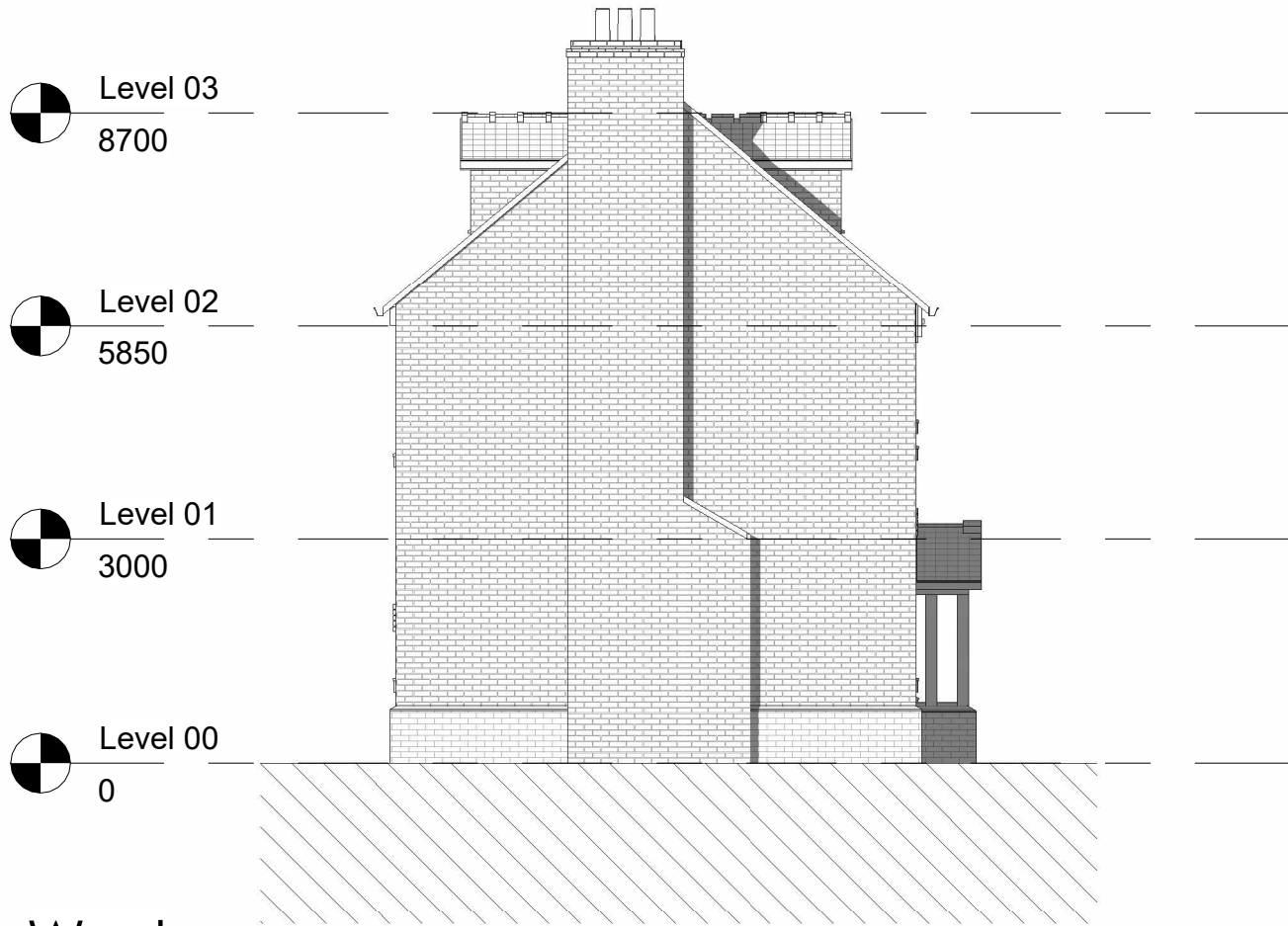
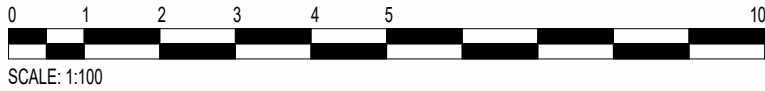
South
1 : 100



East
1 : 100



North
1 : 100



West
1 : 100

House Type - 4B_A3

P4	Submitted for Planning	31/10/24	GB	TP
P3	GEA Update	25/10/24	GB	TP
P2	Client Update	26/09/24	GB	TP
P1	House Design & Layout Update	19/09/24	GB	TP
Revision	Date	By	Chk	

Date: 9/11/23

Checked by : TP

Drawn by: GB

Scale @ A2 : 1 : 100

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Sheet Name: 4B-A3 Proposed Elevations

Purpose of issue: Planning

Lady Rona Delves Broughton
Doddington Estate Residential

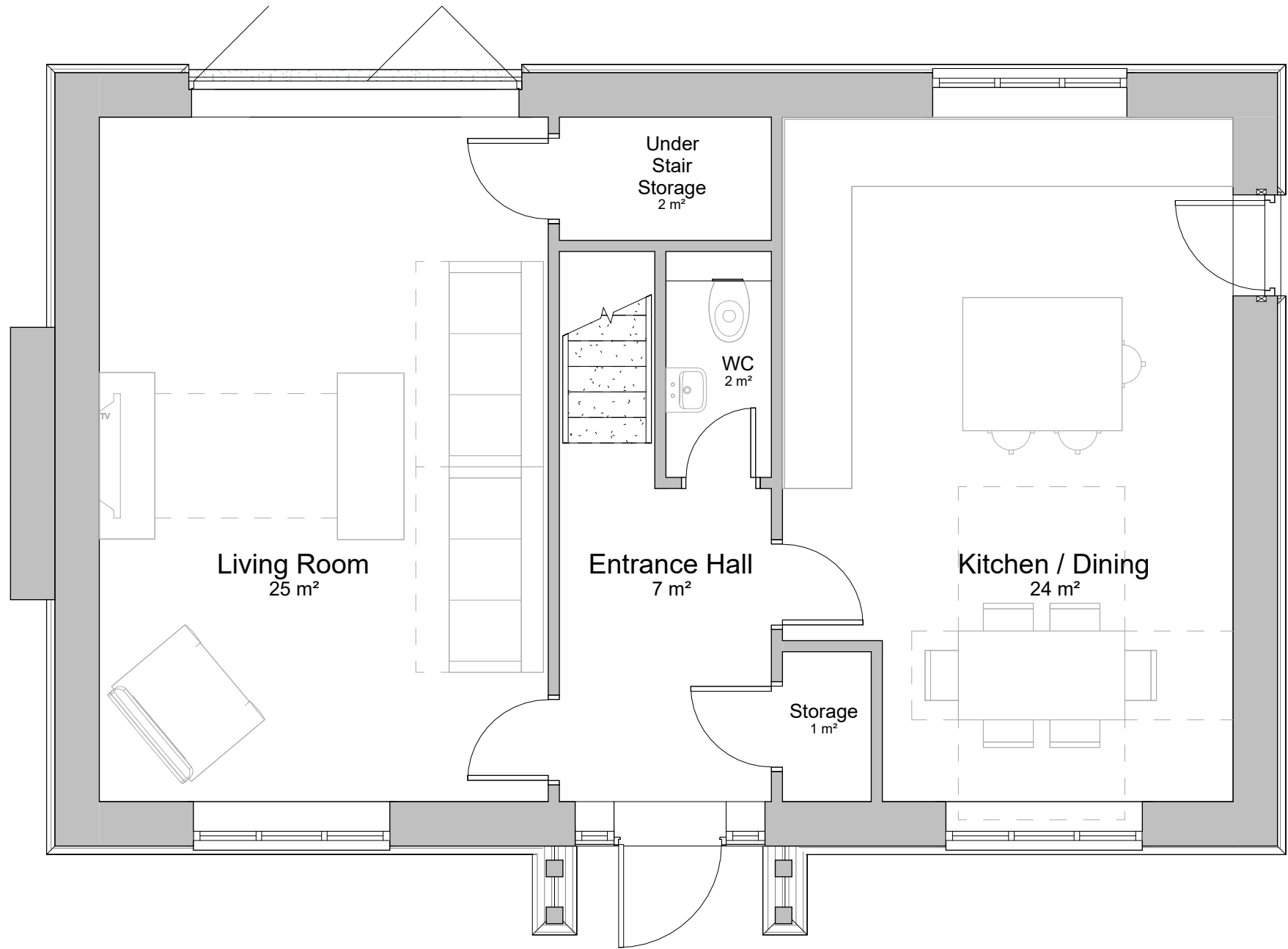
Status:

Project No: 8877

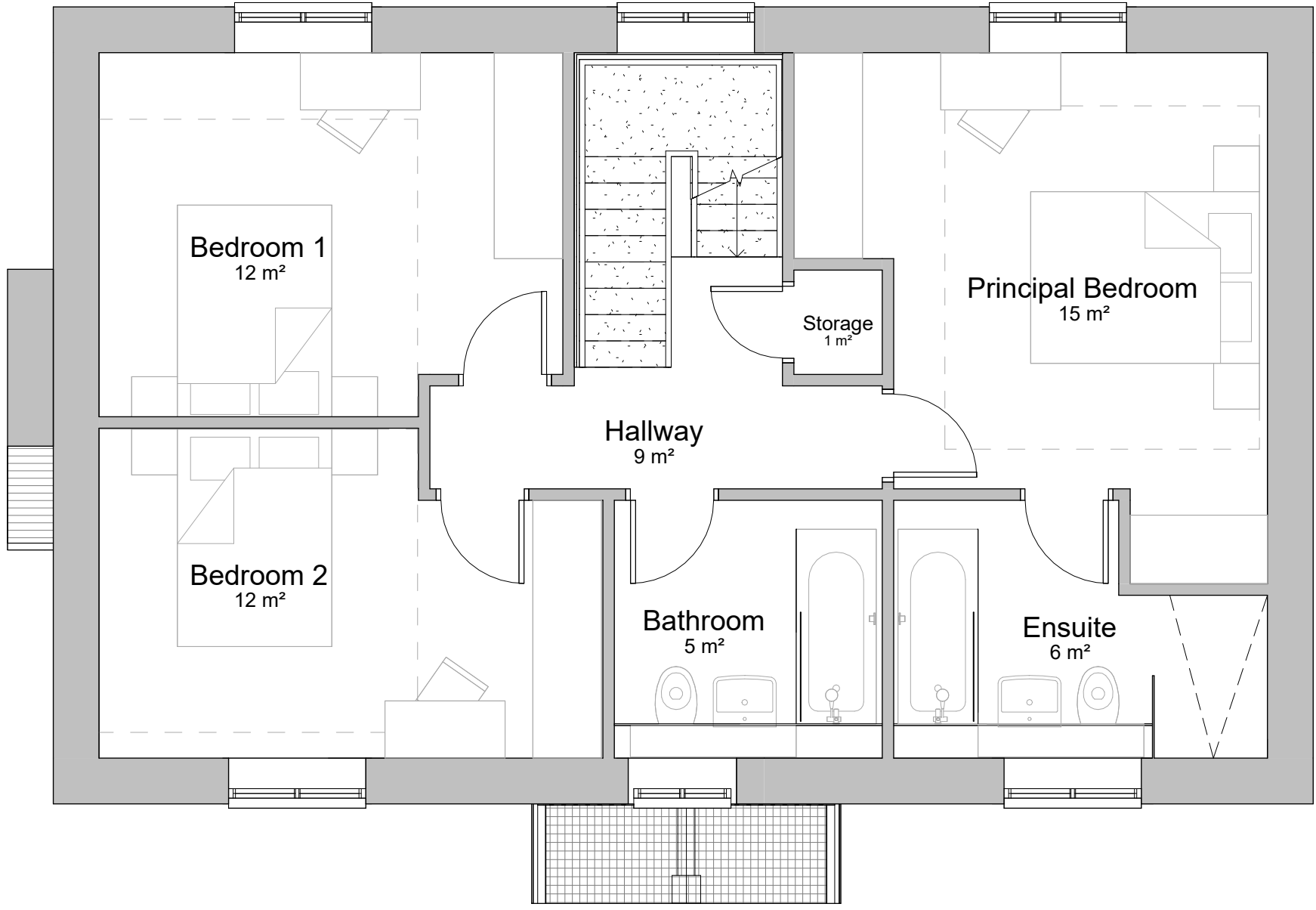
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Drawing No8877-BOW-4BA2-ZZ-DR-A-P300

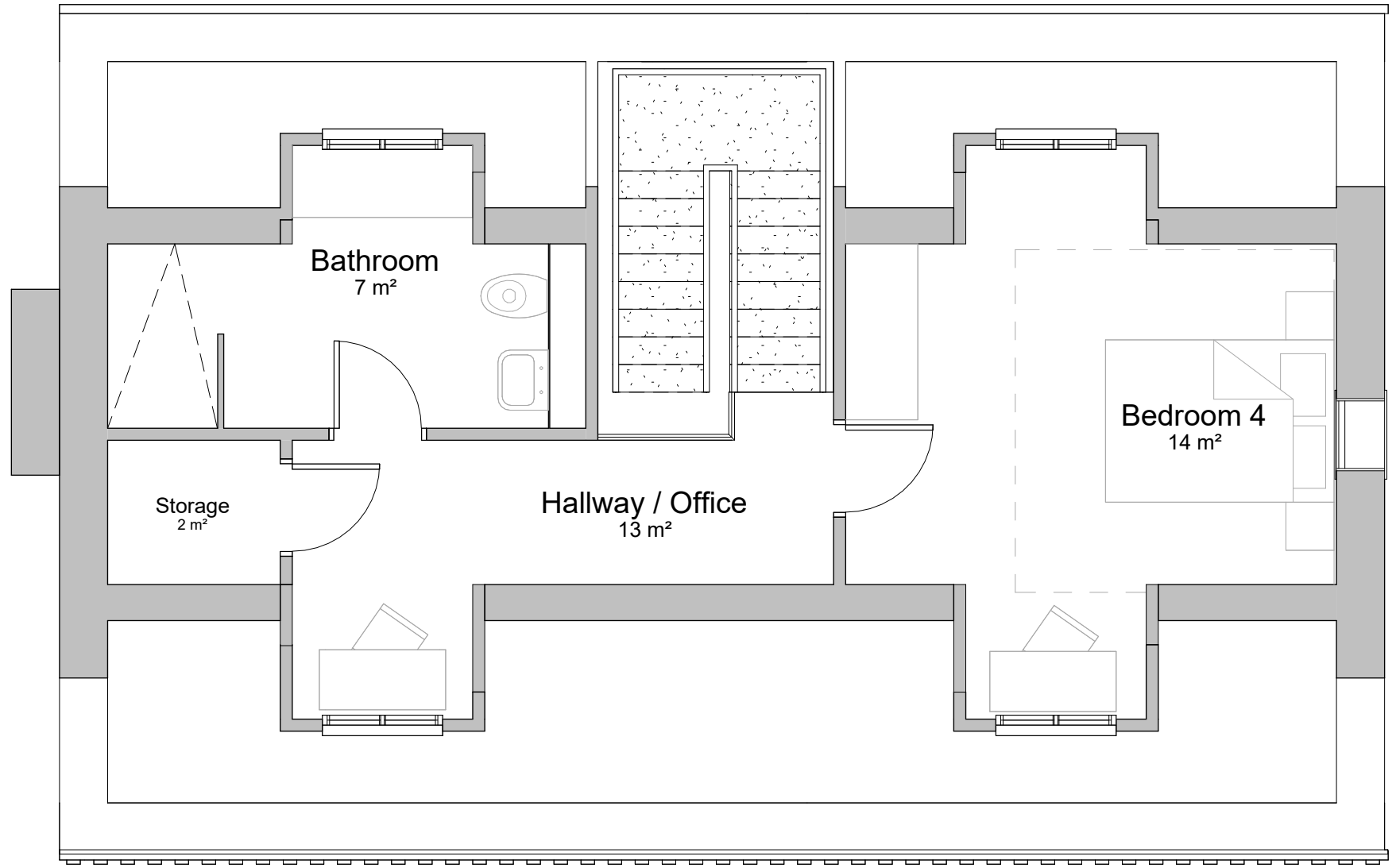




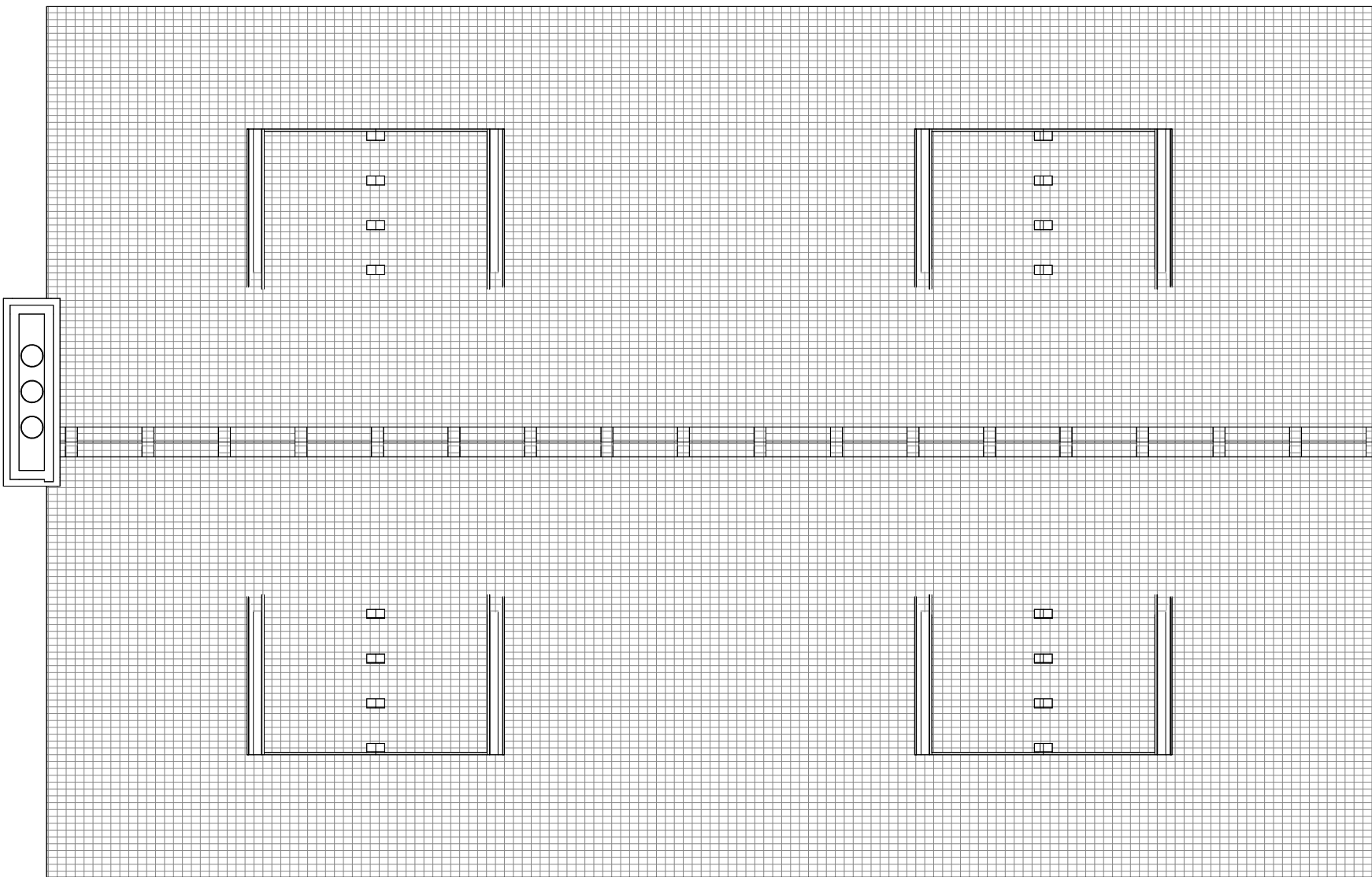
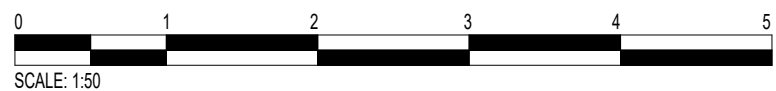
Proposed Ground Floor
1 : 50



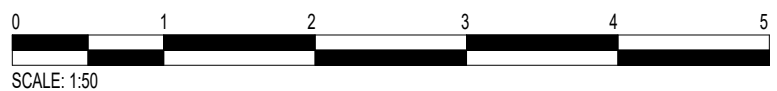
Proposed First Floor
1 : 50



Proposed Second Floor
1 : 50



Proposed Roof Plan
1 : 50



House Type - 4B_A3

Area Schedule (Gross Building)		
Name	Area	Level

GIA Ground Floor	63 m²	Level 00
GIA First Floor	63 m²	Level 01
GIA Second Floor	39 m²	Level 02
Grand total: 3	165 m²	

Area Schedule (GEA)		
Name	Area	Level

GEA Ground Floor	78 m²	Level 00
GEA 1st Floor	78 m²	Level 01
GEA 2nd Floor	44 m²	Level 02
Grand total	200 m²	

Room Schedule	
Name	Area

Kitchen / Dining	24 m²
Entrance Hall	7 m²
WC	2 m²
Living Room	25 m²
Storage	1 m²
Under Stair Storage	2 m²
Level 00: 6	61 m²
Principal Bedroom	15 m²
Bedroom 2	12 m²
Bedroom 1	12 m²
Bathroom	5 m²
Hallway	9 m²
Storage	1 m²
Ensuite	6 m²
Level 01: 7	59 m²
Bedroom 4	14 m²
Hallway / Office	13 m²
Bathroom	7 m²
Storage	2 m²
Level 02: 4	36 m²
Grand total: 17	156 m²

P5	Submitted for Planning	31/10/24	GB	TP
P4	GEA Update	25/10/24	GB	TP
P3	Design Update	27/09/24	GB	TP
P2	Client Update	26/09/24	GB	TP
P1	House Design & Layout Update	19/09/24	GB	TP
	Revision	Date	By	Chk

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Lady Rona Delves Broughton
Doddington Estate Residential

Sheet Name: 4B-A3 Proposed Plans

Purpose of issue: Planning

Status:

Date: 9/11/23

Checked by: TP

Drawn by: GB

Scale @ A1: 1 : 50

Project No: 8877

Revision: P5

Drawing No 8877-BOW-4BA2-ZZ-DR-A-P500



Front View



Front View



Rear View

Note: Landscaping is shown for illustrative purposes to provide context for the house's surroundings

House Type - 4B_A3

Date: 09/11/23				Checked by : TP		Sheet Name: 4B-A3 Proposed Visuals		Project No: 8877		Revision: P5	
P5	Submitted for Planning	31/10/24	GB	TP	Drawn by: GB	Scale @ A2 :	Purpose of issue: Planning	Status:	Drawing No8877-BOW-4BA2-ZZ-DR-A-P501		
P4	GEA Update	25/10/24	GB	TP	All dimensions to be verified on site, and the Architect informed of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan; all conflicts should be reported to the appointed Principal Designer.						
P3	Design Update	27/09/24	GB	TP							
P2	Client Update	26/09/24	GB	TP							
P1	House Design & Layout Update	19/09/24	GB	TP	Do not scale from this drawing.						
Revision					Date	By	Chk	This drawing is the copyright of Bowman Riley Architects Limited ©			
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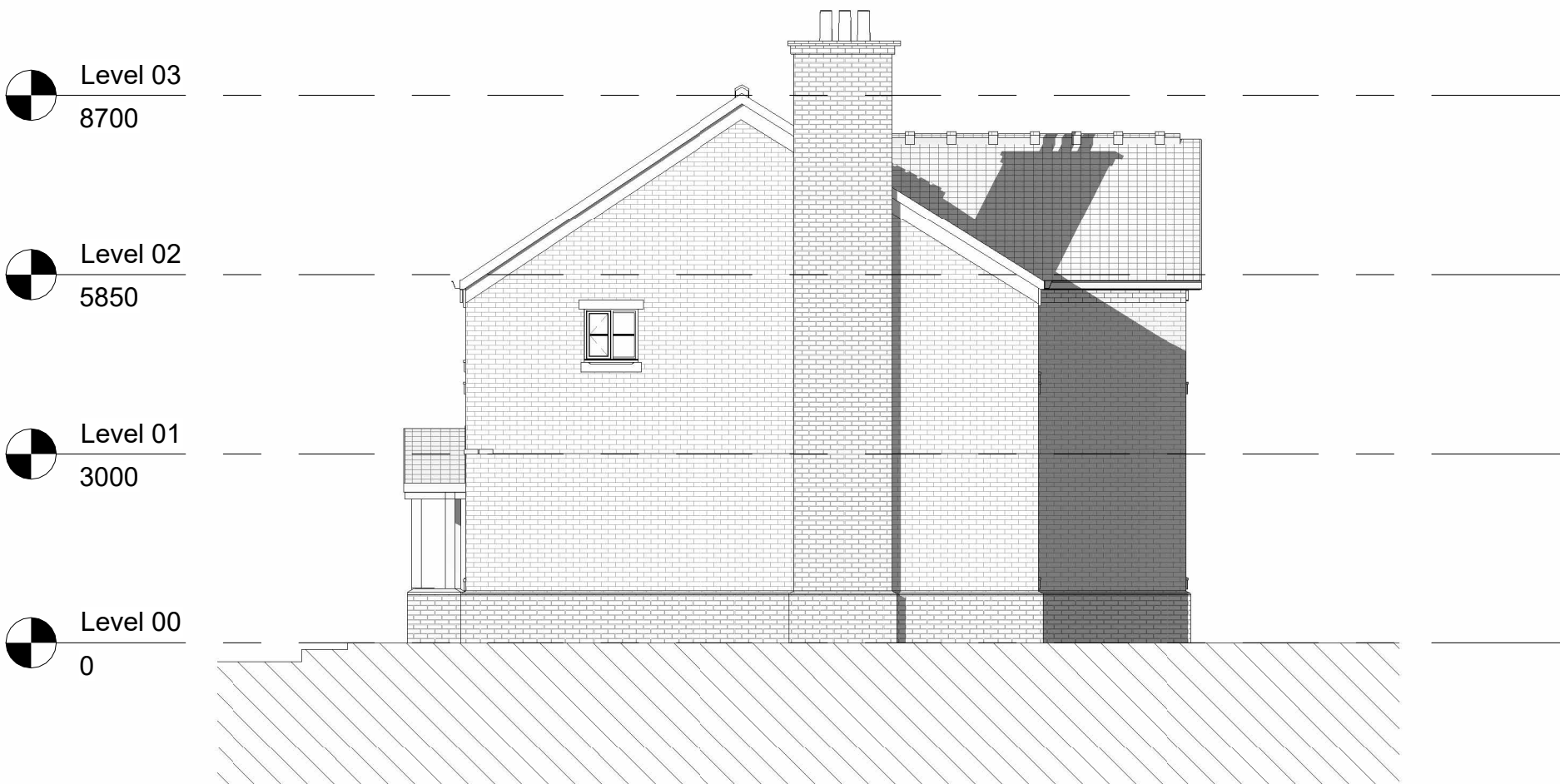
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1 : 100



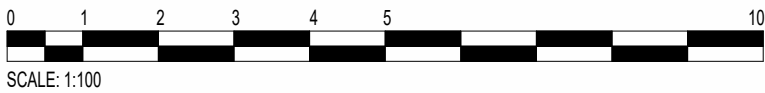
West
1 : 100



North
1 : 100



East
1 : 100



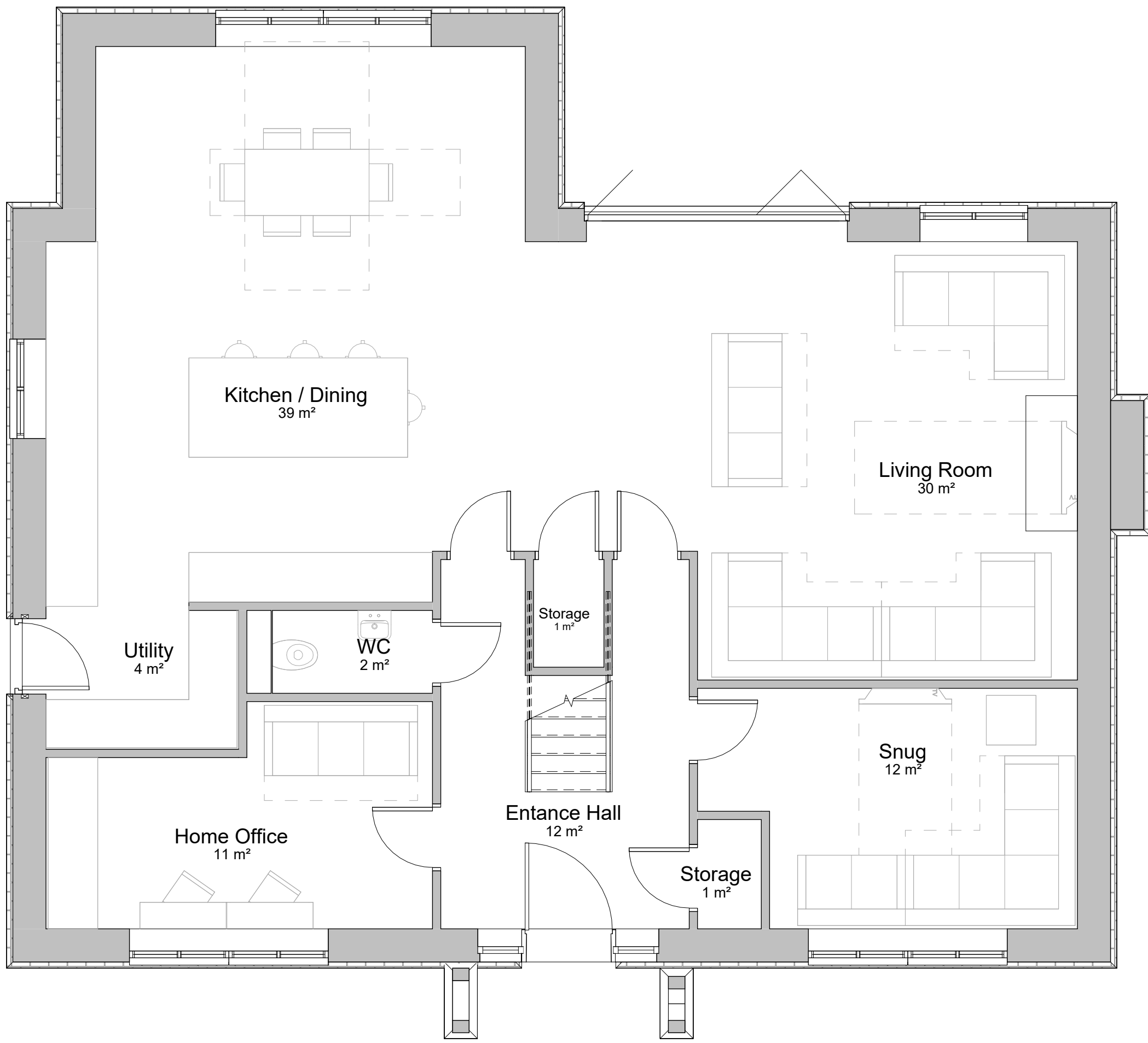
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P1	Design Update	19/09/24	GB	TP
	Revision	Date	By	Chk

Date: 02/27/24
Checked by : TP
Drawn by: GB
Scale @ A2 : 1 : 100
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Sheet Name: 5B_A1 Proposed Elevations
Purpose of issue: Planning
Lady Rona Delves Broughton
Doddington Estate Residential

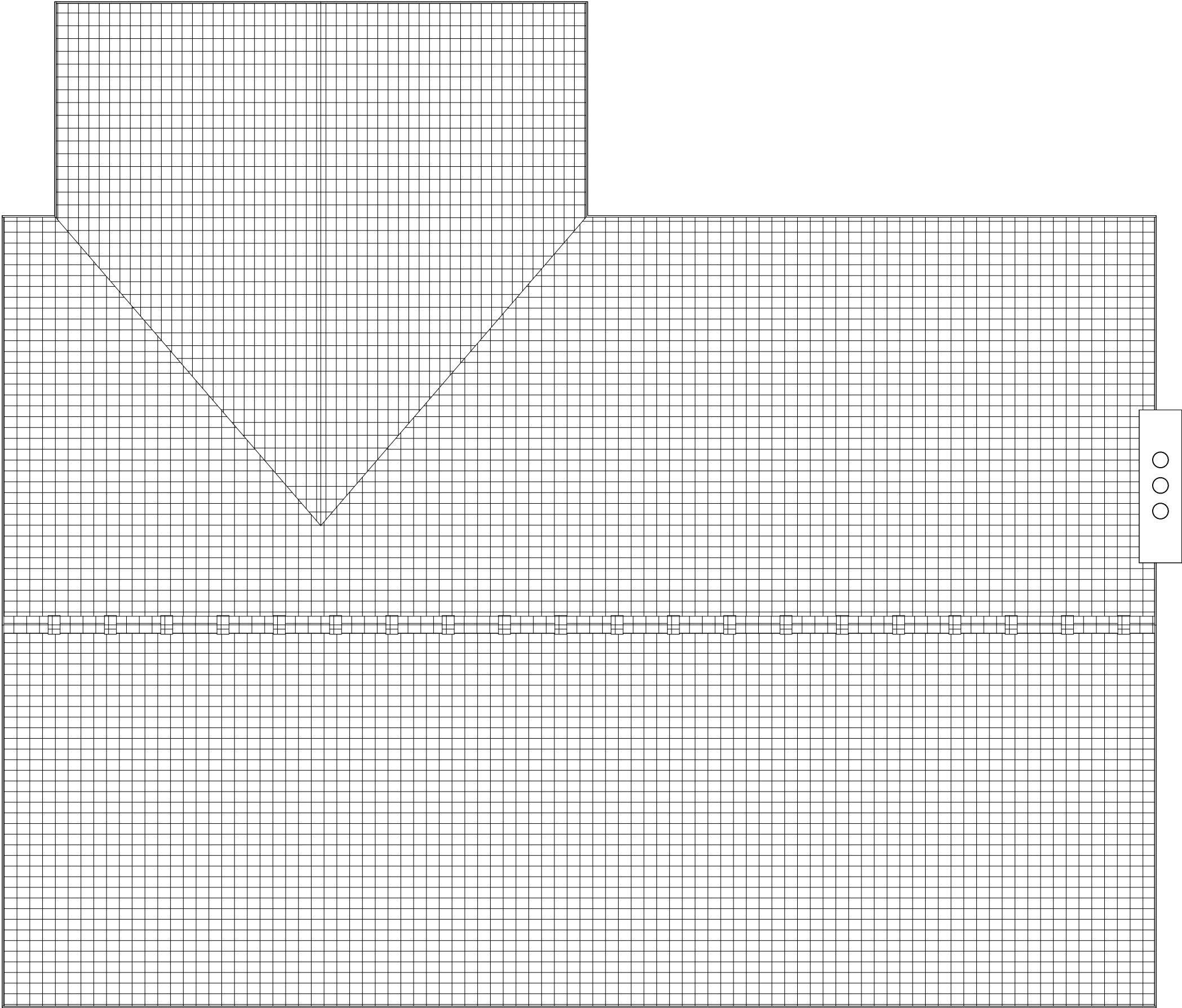
Project No: 8877
Revision: P4
Drawing No: 8877-BOW-5B_A2-ZZ-DR-A-P300





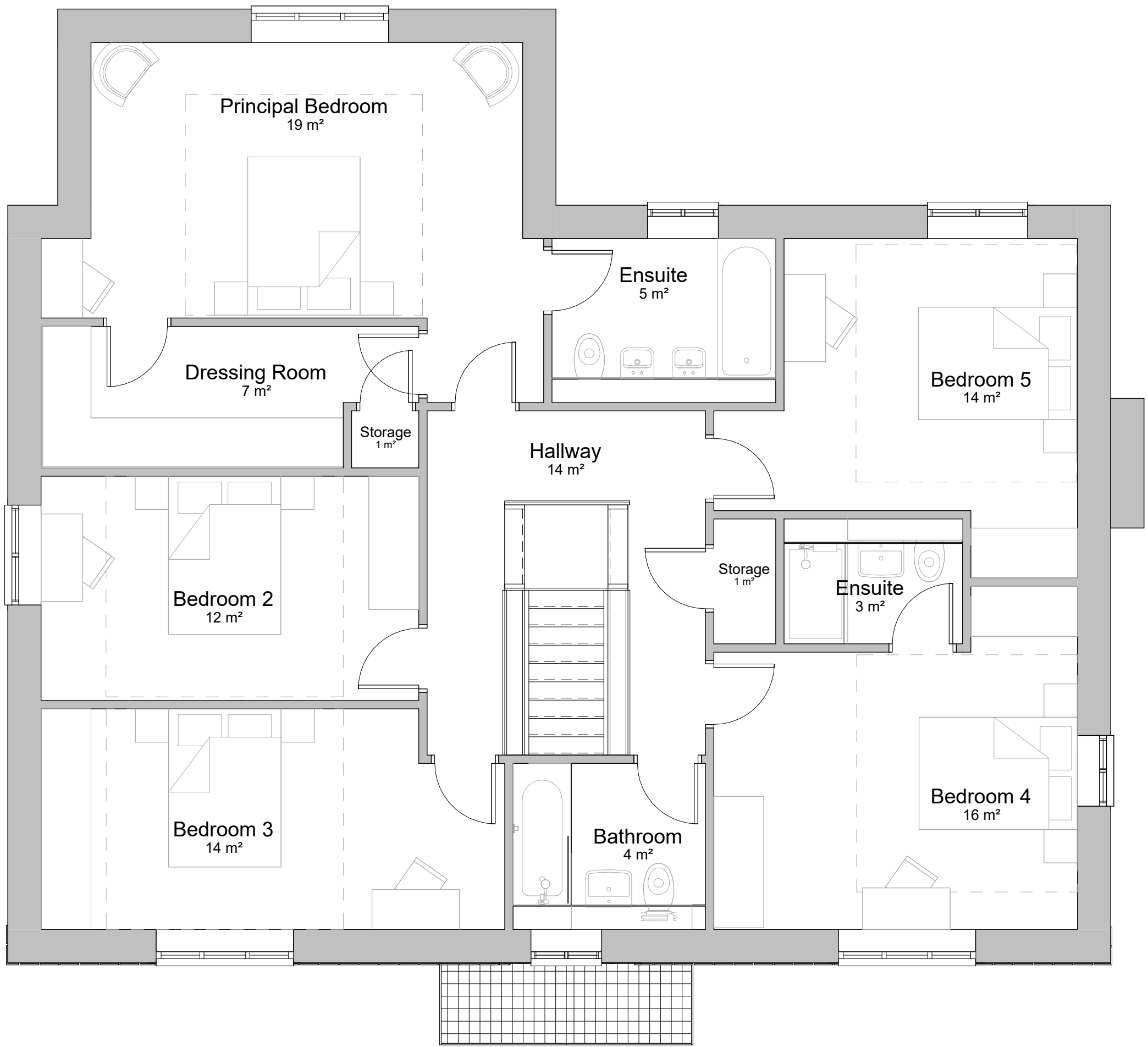
Proposed Ground Floor Plan

1 : 50
SCALE: 1:50



Proposed Roof Plan

1 : 50
SCALE: 1:50



Proposed First Floor Plan

1 : 50
SCALE: 1:50

Room Schedule	
Name	Area

Kitchen / Dining	39 m²
Living Room	30 m²
Home Office	11 m²
WC	2 m²
Entance Hall	12 m²
Snug	12 m²
Storage	1 m²
Utility	4 m²
Storage	1 m²

Room Schedule	
Name	Area

Level 00: 9	112 m²
Bedroom 5	14 m²
Bedroom 4	16 m²
Bedroom 3	14 m²
Bedroom 2	12 m²
Principal Bedroom	19 m²
Hallway	14 m²
Ensuite	3 m²
Ensuite	5 m²
Dressing Room	7 m²
Storage	1 m²
Bathroom	4 m²
Storage	1 m²
Level 01: 12	108 m²
Grand total: 21	220 m²

Area Schedule (GIA)	
Name	Area

GIA Ground Floor	116 m²
GIA First Floor	116 m²
Grand total: 2	231 m²

Area Schedule (GEA)	
Name	Area

GEA Ground Floor	139 m²
GEA 1st Floor	136 m²
Grand total	275 m²

P6	Submitted for Planning	31/10/24	GB	TP
P4	GIA Update	01/10/24	GB	TP
P3	Client Issue	26/09/24	GB	TP
P2	Design Update	19/09/24	GB	TP
P1	New Laout	11/09/24	GB	TP

Revision	Date	By	Chk

All dimensions to be verified on site, and the Architect informed of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan; all conflicts should be reported to the appointed Principal Designer.

House Type - 5B_A1

Lady Rona Delves Broughton
Doddington Estate Residential

Sheet Name: 5B_A1 Proposed Plans

Purpose of issue: Planning Status:

Date: 09/11/24 Checked by: TP

Drawn by: GB Scale @ A1: 1 : 50

Project No: 8877 Revision: P5

Drawing No 8877-BOW-5BA1-ZZ-DR-A-P500





Front View



Side View



Rear View

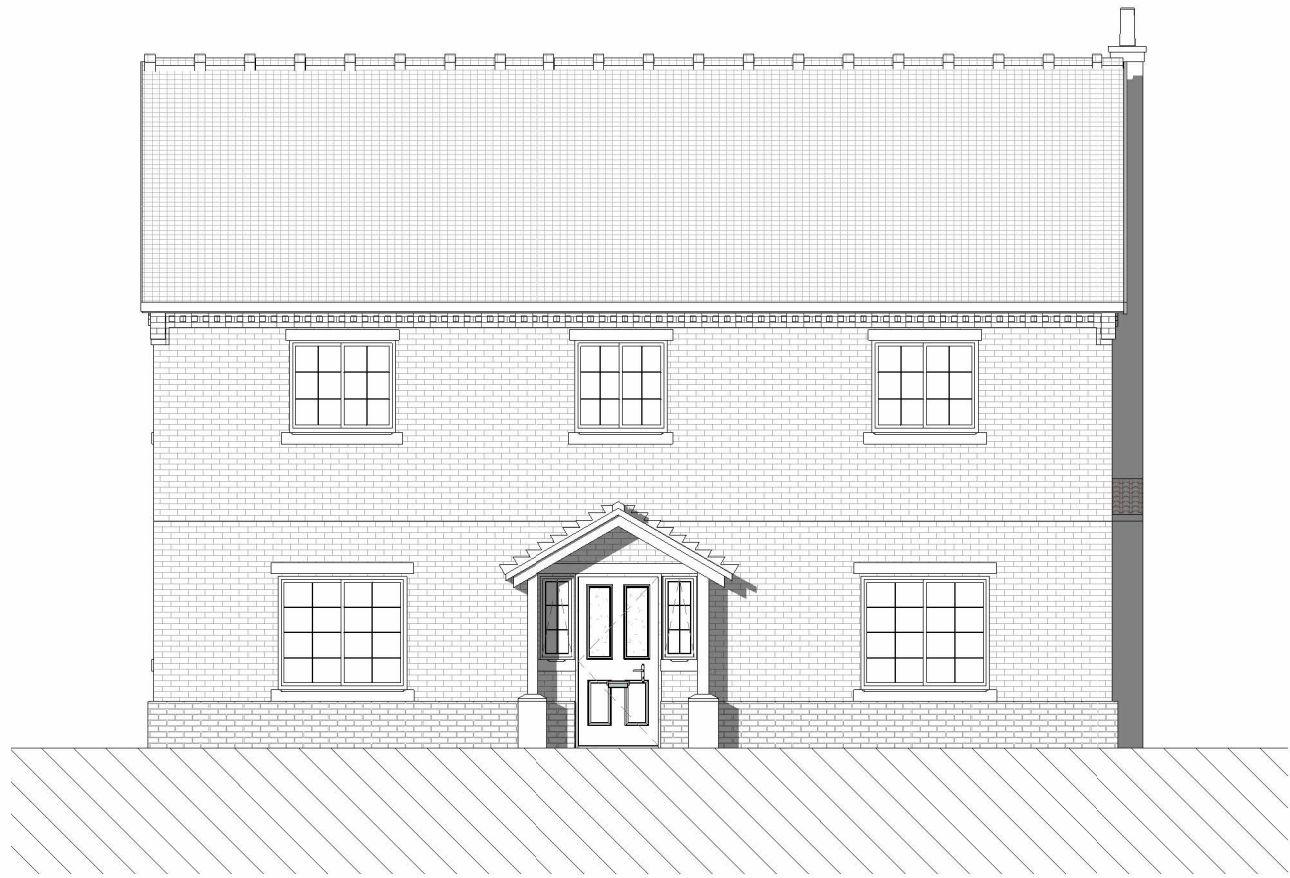
Note: Landscaping is shown for illustrative purposes to provide context for the house's surroundings

House Type - 5B_A1

Side View

Date: 09/11/24				Checked by: TP							
Drawn by: GB				Scale @ A1:							
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P4	Submitted for Planning	31/10/24	GB	TP							
P3	GIA Update	01/10/24	GB	TP							
P2	Client Issue	26/09/24	GB	TP							
P1	New Laout	11/09/24	GB	TP							
	Revision	Date	By	Chk							

Date: 09/11/24		Checked by: TP	Sheet Name: 5B_A1 Proposed Visuals	Project No: 8877	Revision: P4
Drawn by: GB		Scale @ A1:		Purpose of issue: Planning	Status:
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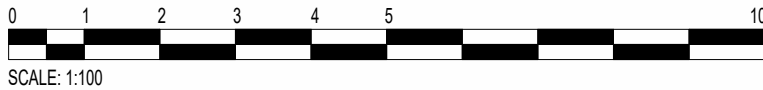
South
1 : 100



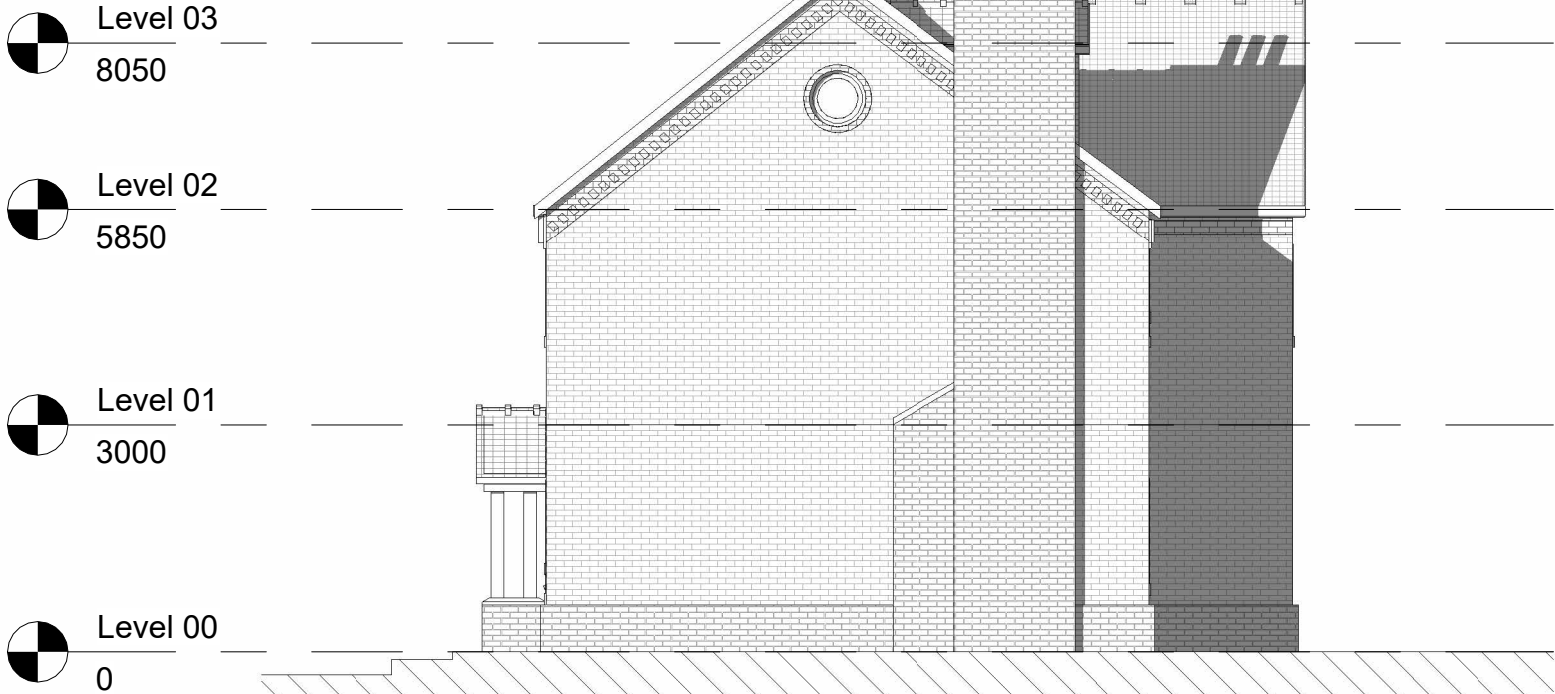
West
1 : 100



North
1 : 100



East
1 : 100



House Type - 5B_A2

P4	Submitted for Planning	31/10/24	GB	TP
P3	GIA update	01/01/24	GB	TP
P2	Client Issue	26/09/24	GB	TP
P1	House Type Update	18/09/24	GB	TP
	Revision	Date	By	Chk

Date: 09/11/23
Checked by : TP
Drawn by: GB
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Sheet Name: 5B-A2 Proposed Elevations
Purpose of issue: Planning
Lady Rona Delves Broughton
Doddington Estate Residential

Project No: 8877
Revision: P4
Drawing No8877-BOW-5BA1-ZZ-DR-A-P300



House Type - 5B_A2

Area Schedule (GIA)		
Name	Area	Level

GIA Ground Floor	94 m²	Level 00
GIA First Floor	94 m²	Level 01
GIA Second Floor	42 m²	Level 02

Grand total 230 m²

Area Schedule (GEA)		
Name	Area	Level

GEA Ground Floor	113 m²	Level 00
GEA 2nd Floor	50 m²	Level 02
GEA 1st Floor	113 m²	Level 01

Grand total 276 m²

Room Schedule	
Name	Area

Kitchen / Dining	29 m²
Living Room	21 m²
Home Office	9 m²
Entance Hall	12 m²
Snug	13 m²
Storage	1 m²
WC	2 m²
Storage	1 m²
Utility / Pantry	4 m²

Level 00: 9 91 m²

Bedroom 5	12 m²
Bedroom 4	15 m²
Bathroom	4 m²
Bedroom 3	14 m²
Bedroom 2	15 m²
Hallway	17 m²
Ensuite	3 m²
Storage	1 m²
Hallway	3 m²
Ensuite	4 m²

Level 01: 10 88 m²

His & Hers Ensuite	6 m²
Principal Bedroom	23 m²
Landing	7 m²

Level 02: 3 36 m²

Grand total: 22 215 m²

P4	Submitted for Planning	31/10/24	GB	TP
P3	GIA update	01/01/24	GB	TP
P2	Client Issue	26/09/24	GB	TP
P1	House Type Update	18/09/24	GB	TP

Revision	Date	By	Chk
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Lady Rona Delves Broughton
Doddington Estate Residential

Sheet Name: 5B_A2 Proposed Plans

Purpose of issue: Planning Status:

Date: 09/11/23 Checked by: TP

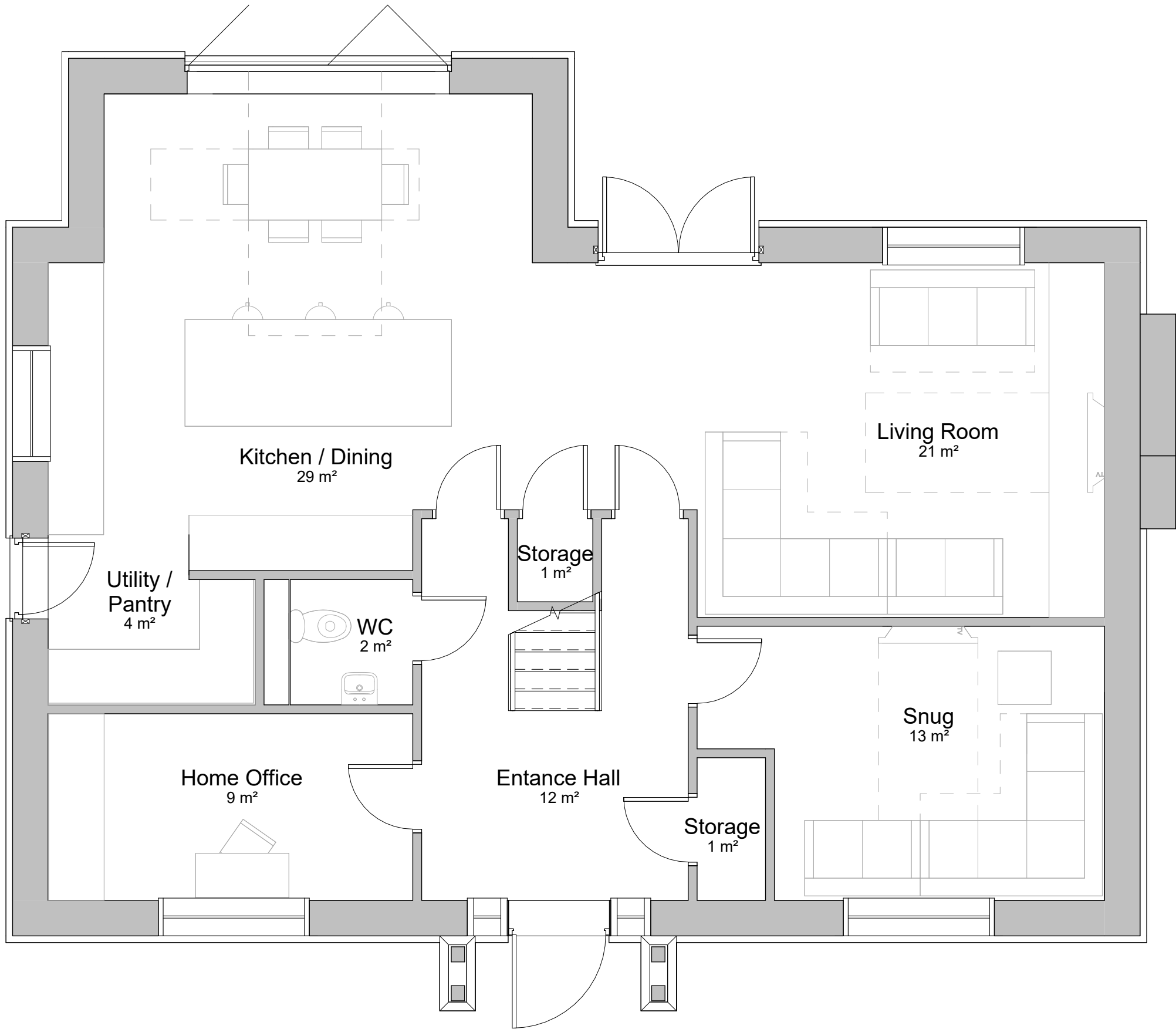
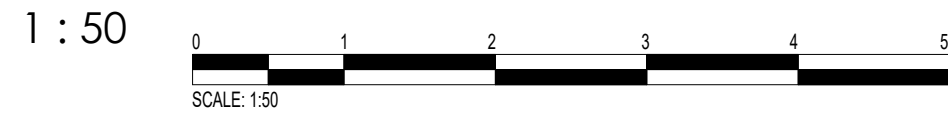
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Project No: 8877 Revision: P4

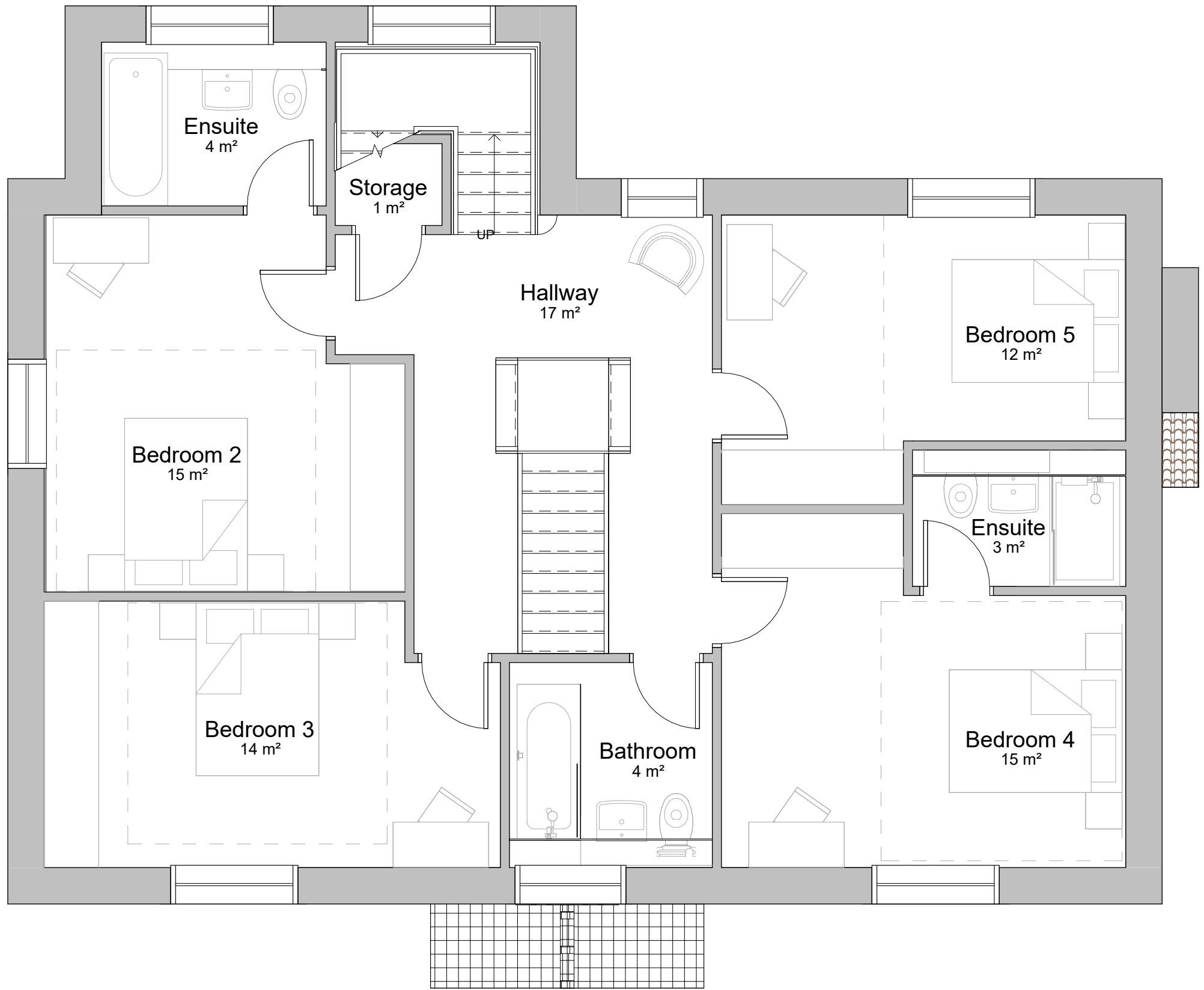
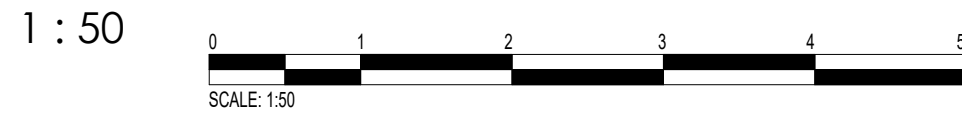
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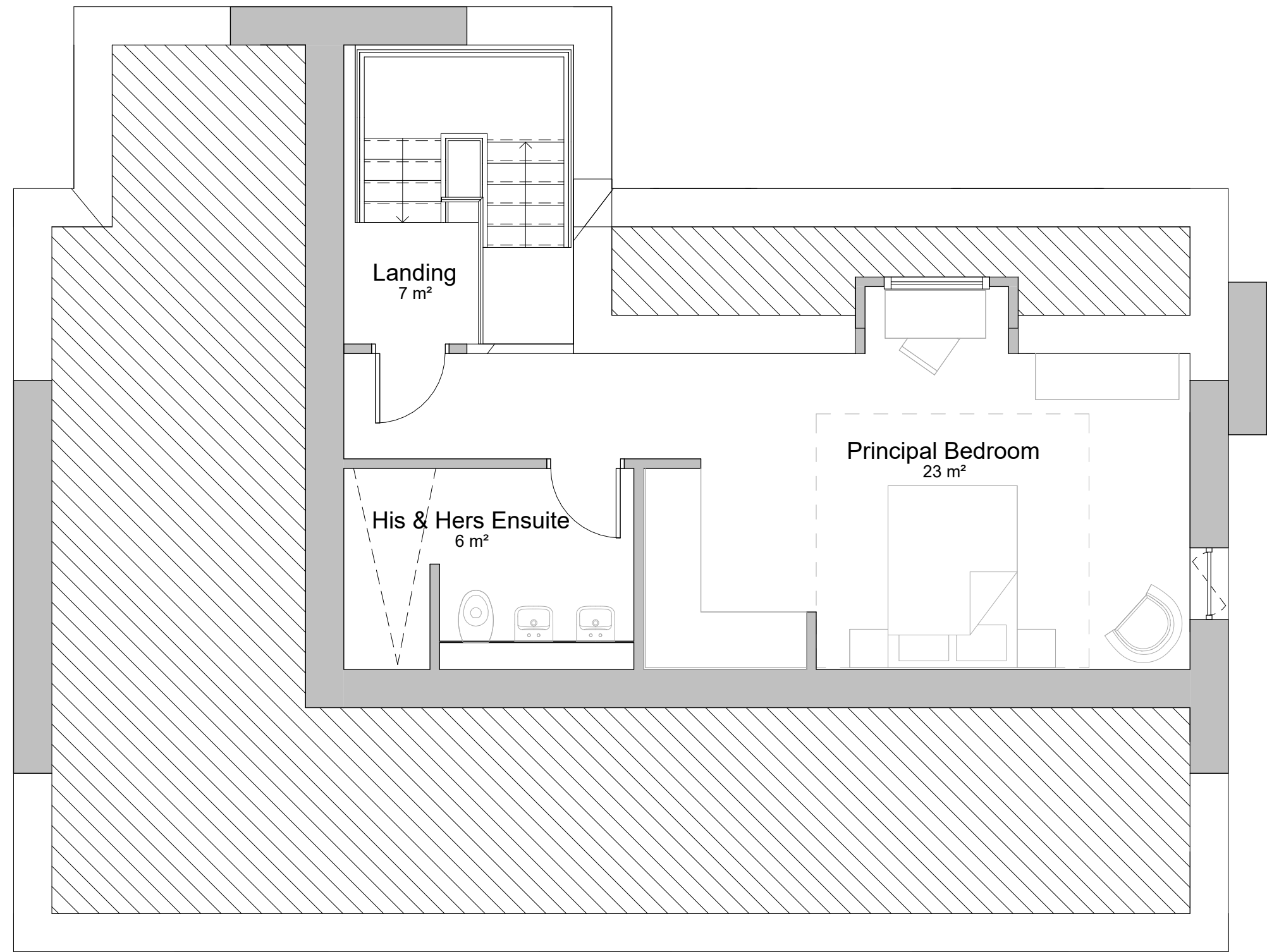
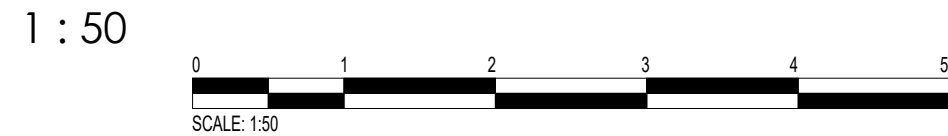
Proposed Ground Floor Plan



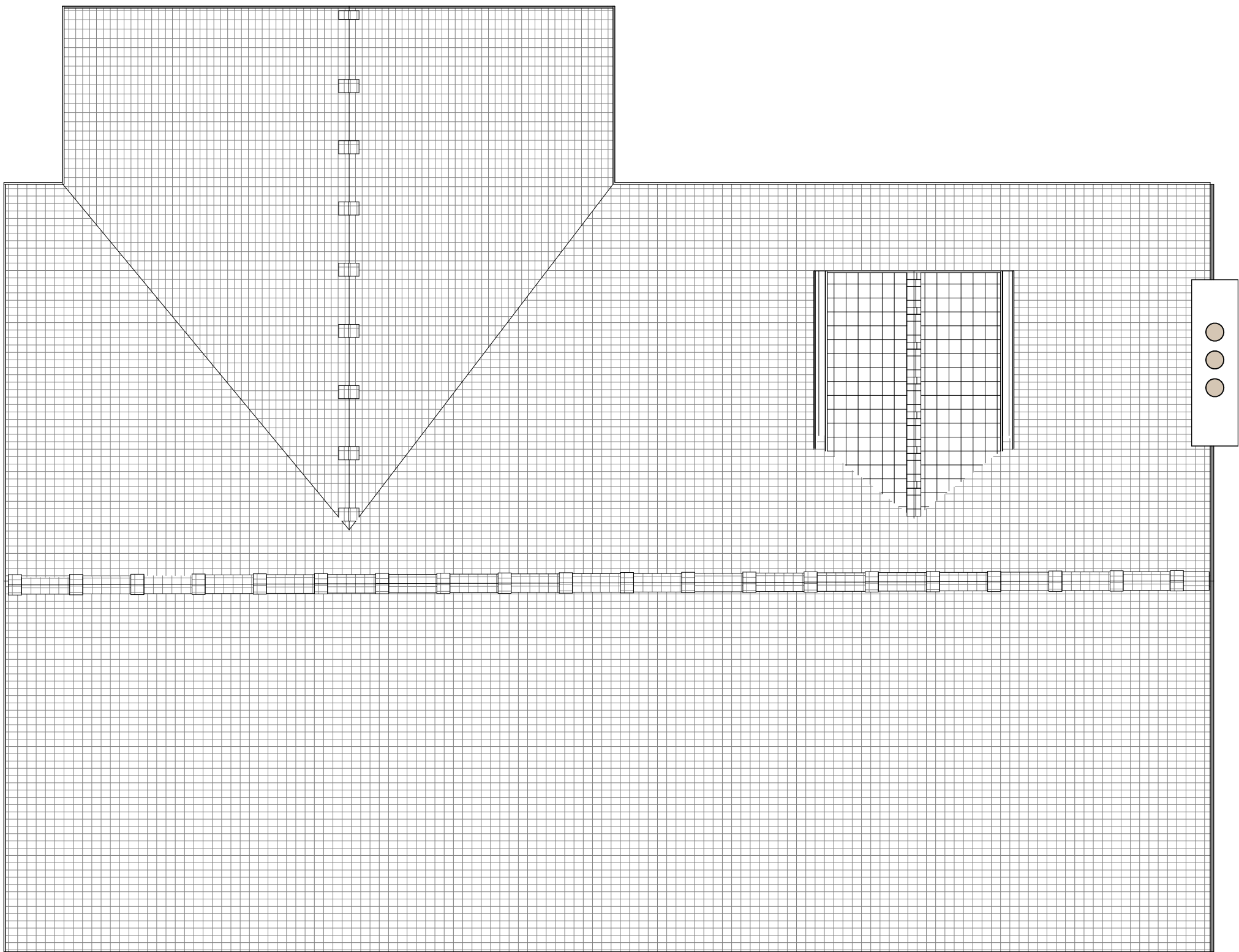
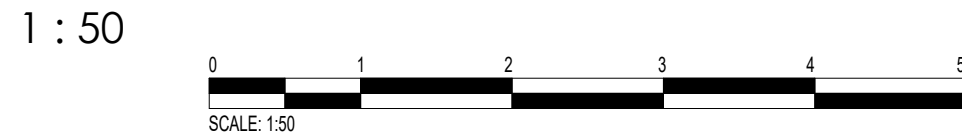
Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Roof Plan





Front View



Side View



Rear View

Note: Landscaping is shown for illustrative purposes to provide context for the house's surroundings

House Type - 5B_A2

Side View

P4	Submitted for Planning	31/10/24	GB	TP
P3	GIA update	01/01/24	GB	TP
P2	Client Issue	26/09/24	GB	TP
P1	House Type Update	18/09/24	GB	TP
	Revision	Date	By	Chk

Date: 09/11/23	Checked by: TP
Drawn by: GB	Scale @ A1:
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Sheet Name: 5B_A2 Proposed Visuals	Status:
Purpose of issue: Planning	
Lady Rona Delves Broughton Doddington Estate Residential	

Project No: 8877	Revision: P4
Drawing No 8877-BOW-5BA1-ZZ-DR-A-P501	
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Application No: 24/2326N

Location: First Friends Pre School Vincent Street, Crewe, Cheshire East, CW1 4AA

Proposal: Proposed Change of Use from former Church Hall/Childrens Pre school to House in Multiple Occupation C4

Applicant: Mrs Karishma Davdra (Skope Property Investments)

Expiry Date: 25-Oct-2024

SUMMARY

The site is within the Crewe settlement boundary, where there is a presumption in favour of sustainable development.

The main issue therefore is whether there are any other material considerations such as design, amenity, highway safety, living conditions etc that outweigh the in-principal support for the proposal.

During the application process revised plans have been submitted which reduced the number of bedrooms from 12 to 10 with a communal kitchen/dining area, separate utility and WC, and an additional study/lounge area. All bedrooms meet the HMO requirements for internal space for 1 bedroom of 10.21sqm, with all also exceeding the 2 bed internal space. Each bedroom has an ensuite shower room. The building also meets the NDSS requirements for dwellings.

The proposed change of use will have little impact on the appearance of the existing building, retaining the existing façade and only replacing the windows and therefore the change of use will have a neutral impact on the streetscene.

The proposal would provide positive benefits such as the economic sustainability roles by providing employment in the locality during conversion works and social role by providing housing in a sustainable location. The retention and re-use of the building is also a positive benefit of the scheme.

There is sufficient indoor and outdoor space provided for the future occupants to meet the requirements of the SPD and local plan policies. The site is located in a sustainable location with good links to public transport hubs.

Although there is no off-street parking proposed with the scheme, the Highways officer states that, further technical information has been submitted on the available on-street parking in the vicinity of the site and on the likely car ownership by HMO tenants. The results of the PM parking survey showed that there are available spaces on local roads in the vicinity of the site. Whilst these are not all on Vincent Street there are a number of spaces available close to the site within easy walking distance. The car ownership information submitted indicated that only 14% of tenants had cars, these figures may be considered optimistic but does show that not all tenants will own a car. Therefore, it is considered that given the sustainable location of the site, the parking and ownership data and the proposed secure cycle storage the scheme is acceptable in terms of highway safety.

It is therefore considered that the proposal is acceptable and therefore recommended for approval accordingly.

RECOMMENDATION

Approve with conditions

REASON FOR REFERRAL

This application is referred to Southern Planning Committee at the request of Cllr Faddes for the following reasons:

I would like to call in this application which I consider to not meet our planning policy on parking standards. I also consider it a poor-quality development which offers minimum amenity facilities for any future residents of the HMO.

Vincent Street is a Victorian terraced road, with no off-street parking. It is inhabited by families who often struggle to park, this has worsened since the Grand Junction Retail Park was built and drivers accessing the Retail Park use neighbouring roads to park on the street for long periods. Whilst the building was in use as a Pre School parents dropped their children off and the disruption to those living on the street was only at drop off and pick up times.

A HMO would mean twelve extra parking spaces on this heavily occupied road, vehicles which would be parked there whilst the residents were at home so for a much longer time than the pre school parents took up.

The parking policy for planning states that this development would require 12 carparking spaces, these are not possible, with the heavily built up situation of the street.

I note that Highways also object to the application on parking grounds. The developer states that there are strong public transport connections, but the only bus route accessible from Vincent Street is a five to ten minute walk away and then a twenty to twenty five minute journey to the town centre.

The application is a poor quality development, there are 6 rooms which appear to measure 12' x 9' (7,8,9,10,11) rooms 5 and 6 appear to be 9' -10' square, whilst rooms 1-4 are slightly larger. I note there are no measurements of the rooms on the plans. This rooms are extremely small and would not offer a decent home environment for the residents.

Whilst there are external doors to the two stores, one external door to the kitchen next to room 1, room 9 does have an external door and there is a new external door to the front of the building, this does not bare well for safety in the case of evacuation due to a fire. Residents of 1, 2 ,3 and 4 would have to walk past other rooms and into the kitchen before reaching an external door.

Residents from 7, 8, 10, 11 and 12 would have to walk a considerable distance to access safety if the door to No9 was locked. This development would breach fire safety regulations.

Bin storage is to the side and residents would be required to take their bins through a narrow alleyway to the footpath at the front. To my mind there is not enough bin storage and as bins from other HMOs on or near the street are left out for a considerable time, would this development add to the problem.

Should we expect residents to live in such poor quality housing. This development offers a minimum standard of living for residents, with worries over safety and the lack of car parking spaces I would very much like this application to be heard by a committee.

PROPOSAL

The application seeks planning permission for the change of use from a former Church Hall/Children's pre-school to House in Multiple Occupation C4.

Revised plans have been received during the process of the application to reduce the scheme from 12 bedrooms to 10 bedrooms.

SITE DESCRIPTION

The application site is located on Vincent Street, Crewe. The existing building is a former Church Hall/Children's pre-school building which has been vacant for some time.

The building is located within an established residential area, of largely terraced properties with little or no off-street parking. The site is located in the Settlement Boundary of Crewe as designated within the Local Plan.

RELEVANT HISTORY

No relevant planning history

NATIONAL & LOCAL POLICY

Cheshire East Local Plan Strategy (LPS)

MP1 Presumption in Favour of Sustainable Development

PG2 Settlement Hierarchy

SD 1 Sustainable Development in Cheshire East

SD 2 Sustainable Development Principles

SE 1 Design

SE 2 Efficient Use of Land

SE 12 Pollution, Land Contamination and Land Instability

SC3 Health and Wellbeing

SC4 Residential Mix

EG1 Economic Prosperity

EG3 Existing and Allocated Employment Sites

C01 Sustainable Travel and Transport

C02 Enabling Business Growth through Transport Infrastructure

Appendix C Parking Standards

Site Allocations and Development Policies Document (SADPD)

PG8 Development at Local Service Centres
PG9 Settlement Boundaries
GEN 1 Design Principles
ENV 1 Ecological Network
ENV 2 Ecological Implementation
ENV6 Trees, Hedgerows and Woodlands
ENV 7 Climate change
ENV16 Surface Water Management and Flood Risk
HOU1 Housing Mix
HOU4 Houses in multiple occupation
HOU 8 Space, accessibility and wheelchair housing standards
HOU12 Amenity
HOU13 Residential Standards
HOU16 Small and Medium Sites
INF3 Highways Safety and Access
INF 9 Utilities

Other material considerations

Cheshire East Design Guide SPD
Houses in Multiple Occupation Supplementary Planning Document Adopted September 2021
Housing SPD

National Policy

National Planning Policy Framework

CONSULTATIONS

Crewe Town Council: That the committee objects to the proposals on the following grounds:

- i. Overdevelopment of the site the proposals are a clear representation of over-development of the site providing very low quality and high-density accommodation which is considered unsustainable and socially damaging.
- ii. Loss of amenity for neighbouring residents due to noise and on street waste due to the proposal's high density and low social sustainability approach
- iii. Lack of off-street parking does not meet planning policy and will lead to on street parking issues in an area already over-subscribed for on street parking.
- iv. Lack of environmental sustainability within the proposals, which do not provide for net biodiversity gain, sustainable energy production (solar panels or EV charging, which does not meet planning policy).
- v. The location for this type of development is entirely inappropriate. The area is traditional terraced housing that provides accommodation for families, and it has been demonstrated and sustained in the past that further proliferation of HMO accommodation in Crewe is unsustainable. Article 4 Directives have been established to prevent these unwanted and poor-quality developments that deliver no value to the community but are to the detriment of the community.

CEC Highways: No objections to reduced scheme

CEC Environmental Protection: No objection

LLFA – No objections subject to condition for surface water drainage strategy to be submitted prior to commencement of development

Network Rail – No objections

Cllr J Rhodes: (1) This transformation of a church hall into a 12 bed HMO is not appropriate for the character of the area which is Victorian terraced houses. This is dense housing was not designed for the 21st century and cars. My objection is that there is no parking associated with this development and CEC planning policy is clear that car parking is needed for all developments, appropriate to the number of bedrooms the property contains. This policy has been imposed on past planning applications. In the case of Edleston School there were 23 carparking spaces, one for each bedroom. It is not appropriate to say residents who live in HMO's don't have a car. Residents who might live here will have cars as they need them to get to work. I feel it would be more appropriate to convert this property into a small number of apartments rather than overdeveloped single spartan bedrooms.

(2) I strongly object to this proposal on the grounds of access, amenity and parking.

Vincent Street comprises mainly of terraced houses with no parking facilities, so residents of this street have to park on street in front of their property. Many families have more than one car, have visitors or find shoppers or staff at the Grand Junction Retail Park occasionally utilise the road for parking purposes while they have popped out to town or a school run. To abide by Cheshire East parking policy which states that this development should have 12 car parking spaces is not possible.

I note that Highways have also accepted this is an issue in Vincent Street and have lodged an objection on parking reasons. I completely agree with the Highways team, to convert a facility which formally only had parents dropping off and collecting pre school children twice a day, into a HMO for 12 people who may all have vehicles would put an unbearable burden onto this already congested, double parked street.

The developer states that there are sustainable alternatives with a bus route nearby, this bus route is a 5-10 minute walk away across Queen Street, which poses danger with the amount of traffic which uses the Grand Junction retail park roundabout. The bus service then takes a 20 - 25 minute journey to access the town centre, with another further bus journey to the Railway Station, Business Park, Bentley or Leighton Hospital (the latter three being our main job opportunities for residents).

I would also like to comment on the destruction of the road and inconvenience which this application would cause to the area. HGVs bringing materials and construction equipment and taking spoil on an already crumbling Victorian narrow street. At times there would be utility vehicles, plumbers, electricians, decorators, carpet fitters and broadband connectors who would cause more havoc to the congestion on this road.

Vincent Street is used as a cut through to avoid the Retail Park roundabout and with the "No right turn" markings on Manchester bridge, many are not fully aware of the restrictions here. Many come from Hall O Shaw Street/Surrey Street into Vincent Street to avoid the roundabout though and more on street parking would increase worries over danger.

The access to the properties is concerning to me, there do not appear to be enough external doors and some of the residents would have to walk through the kitchen and past other rooms before accessing their own room. In the case of a fire this would be very dangerous.

The amenity of any future residents is very poor with little more than a box room as their own space, they would not have a decent environment for relaxing, studying or inviting friends over. We should not be allowing developments which leave future residents in such undesirable conditions.

Can you please accept my objections on this application, and I do hope that they are considered along with the many other comments from residents who live nearby and will be directly affected and those who know the area or have relatives here.

REPRESENTATIONS

Approximately 50 letters of objection have been received which raise the following issues:

- Highway impacts/lack of parking
- Bin storage issues
- The roads are not safe for heavy good vehicles
- Will lead to increase in antisocial behaviour
- Overdevelopment on the property
- Impact to quality of life to surrounding properties
- Loss of parking for existing residents
- Noise disturbance
- There is already too many HMOs in the area
- Area to the rear of the site owned by Network rail is not maintained and this would lead to additional rubbish/pests etc
- Local infrastructure such as Doctors, dentists and schools are at capacity
- The rooms are very small and appear to provide a sub-standard level of accommodation for future occupiers
- Private amenity space provided is limited for the potential 12 occupants plus visitors to use
- Lack of renewable energy proposal within the scheme
- More quality family housing is needed to be provided
- No new homes are required in Crewe
- The building should be used for more appropriate use / community use / school
- Impact on water supply, drainage issues in the area
- General concerns raised over the amenity impact of construction period

A list of 98 names and addresses has also been submitted in the form of petition from across the Country, around half in the local area. The petition has no title or clear indication of what material planning considerations are being raised. The covering email states, '*Attached is a Petition with almost 100 signatures. These are mostly local signatures, please take into account the feelings of local people and respect their wishes, reject this proposal. We want to see the hall redeveloped and back in use but these plans are nothing short of offensive.*'

Furthermore, there were also a further 2 letters of objection removed from the planning register due to the offensive nature of the comments.

One letter of support has been received; the issues raised are:

- Re-use of the building is needed, it has attracted some vandalism.
- Affordable housing is needed in Crewe.

OFFICER APPRAISAL

Principle of Development

The site lies in the Crewe settlement boundary as designated in the adopted Cheshire East Local Plan, where there is the presumption in favour of sustainable development. Policy PG2 of the LPS sets out that, in the Principal Towns of Crewe and Macclesfield, significant development will be encouraged to support their revitalisation, recognising their roles as the most important settlements in the borough. Development will maximise the use of existing infrastructure and resources to allow jobs, homes and other facilities to be located close to each other and accessible by public transport. As a result, the proposal is acceptable from a pure land use perspective.

The main issue therefore is whether there are any other material considerations such as design, amenity, highway safety, living conditions etc that outweigh the in-principal support for the proposal.

Houses in Multiple Occupation

The Houses in Multiple Occupation Supplementary Planning Document (“HMO SPD”) was adopted by the Council on the 9 September 2021 and is a material consideration to be taken into account in the determination of planning applications for HMOs.

While HMOs and the wider private rented sector play an important role in meeting housing needs, a saturation of HMOs in a particular location can have negative impacts upon that area, for example the number of homes available for families or those wanting to purchase their first home may reduce due to a high demand for investment properties. In addition, the occupation of dwellings as HMOs by a higher number of adults compared to a typical family home, can place additional demands on services and infrastructure, for example increased waste generation.

The SPD includes guidance on avoiding or exacerbating concentrations of HMOs in order to support the well-being and amenity of neighbourhoods. This includes a threshold of no more than 10% of dwellings in HMO use within 50m of an application site and the sandwiching test. These tests are also replicated in SADPD Policy HOU 4 ‘Houses in Multiple Occupation’ referred to above.

For the purposes of SADPD Policy HOU 4 Criteria 1(i&ii):

The Council's records show that there are 68 residential addresses within a 50m radius of the application site. Based on current information drawn across planning permission data, building regulations information, licencing information and data provided by the Council's housing team, there are no known HMO's within the 50m buffer zone. There are therefore no known sandwiching issues.

Achieving good standards of accommodation

SADPD Policy HOU 4 sets various criteria against which applications for HMOs should be assessed. The HMO SPD also includes guidance on achieving good standards of accommodation and the dwelling and internal layout must be sufficient to accommodate the proposed number of residents in order to protect the residential amenity of future occupiers of the HMO and any adjacent residents. The external area serving the dwelling should also

be of sufficient size to accommodate waste storage requirements, make adequate provision for cycle parking, provide space for outdoor clothes drying and amenity space for residents.

The revised plans have reduced the number of bedrooms from 12 to 10 with a communal kitchen/dining area, separate utility and WC, and an additional study/lounge area. All bedrooms meet the NDSS / HMO requirements for internal space for 1 bedroom of 10.21sqm, with all also exceeding the 2 bed internal space. Each bedroom has an ensuite shower room.

Waste management

Larger HMOs may have additional waste storage requirements due to the intensified use of the property. The plans indicate that the bins will be located within the rear courtyard area of the building, with access through the existing building. The structure proposed to store the waste appears to be of a suitable size for the proposed use, however a condition will be proposed for full details to be submitted and approved.

Car and cycle parking

For car parking the SPD applies the parking standards as per the local plan which requires 1 space per bedroom (negotiated by site on reduced provision). For cycle parking the SPD recommends 1 space per bedspace.

There is no off-road parking proposed for the property and the area can be quite saturated with on street parking. However, the applicant submitted a parking study which highlighted availability of on street parking in the area and the likely levels of car ownership for an HMO in the area. The results of the PM parking survey showed that there are available spaces on local roads in the vicinity of the site. Whilst these are not all on Vincent Street there are a number of spaces available close to the site within easy walking distance. The car ownership information submitted indicated that only 14% of tenants had cars, these figures may be considered optimistic but does show that not all tenants will own a car. The site is in a very sustainable location on the edge of the town centre, which is on a bus route and within easy walking distance of the Bus Station and Train Station.

Secure covered cycle storage is also shown within the existing storage building at the rear of the site and this can be conditioned.

Outdoor amenity space

The proposed development includes the use of the existing courtyard to the rear of the site to be used as communal outdoor amenity space of around 150 sqm. This should be sufficient space for the future occupants to access outdoor space. Furthermore, the site is located within 200m of Queen Street Park which is a local area of open space and play area.

Highways

As set out above, revised plans have been submitted for this change the use for an HMO consisting of 10 bedrooms. The site is located off Vincent Street, Crewe and does not have any existing off-street parking and this remains the same in this application.

The CEC parking standards for HMO's would require 10 car parking spaces to be provided (negotiated by site on reduced provision). Whilst the previous uses would have had some on-

street parking demand this would not have been overnight parking as is required with residential properties. There appears to be some limited parking space fronting the building but not enough to accommodate the level of development proposed.

The Highways Officer states that, further technical information has been submitted on the available on-street parking in the vicinity of the site and also on the likely car ownership by HMO tenants. The results of the PM parking survey showed that there are available spaces on local roads in the vicinity of the site. Whilst these are not all on Vincent Street there are a number of spaces available close to the site within easy walking distance. The car ownership information submitted indicated that only 14% of tenants had cars, these figures may be considered optimistic but does show that not all tenants will own a car.

The Highways Officer therefore confirms that given the information submitted and the reduction in the number of bedrooms the application is now acceptable, and no objections are raised.

It is considered that the proposed cycle storage should be conditioned to ensure it is provided and made available prior to the first occupation of the building.

Design

Policy SE1 advises that development proposals should make a positive contribution to their surroundings in terms of the creating a sense of place, managing design quality, sustainable urban, architectural and landscape design, live and workability and designing in safety. The Cheshire East Design Guide Volumes 1 and 2 give more specific design guidance. Policy GEN 1 of the SADPD also reflects this advice.

The proposal includes very little external alterations. All windows and doors (where necessary) will be replaced (many have been vandalised since the building has been empty), but the openings will be retained, and the external façade will remain as it is. These are considered to be limited visual changes with no harm to the overall character/appearance of the area.

The character of the area is predominantly residential so it is not expected that the residential use would harm the character of the area.

The proposal includes the use of the existing outbuildings for cycle storage with a bin storage area proposed within the rear courtyard.

Therefore, it is not considered that the proposal would cause any harm to the character/appearance of the area and is of a design which is appropriate for its use.

Amenity

With regards to neighbouring amenity, Policy HOU12 advises development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive uses, or future occupiers of the proposed development due to: 1. loss of privacy; 2. loss of sunlight and daylight; 3. the overbearing and dominating effect of new buildings; 4. environmental disturbance or pollution; or 5. traffic generation, access and parking.

Policy HOU13 sets standards for spacing between windows of 18m between front elevations, 21m between rear elevations or 14m between habitable to non-habitable rooms. For differences in land levels, it suggests an additional 2.5m for levels exceed 2m.

Surrounding neighbouring properties

The properties most affected by this proposal are Nos.14 and No.26 Vincent Street.

As the building is already in situ it is not considered that the physical mass of the building would pose any further harm to living conditions through overbearing/oppressive impact etc. No new windows are proposed therefore it is not considered that the proposal would result in any increase in privacy/overlooking.

A new boundary fence should be erected along the southern boundary of the site to reduce any overlooking into the rear amenity space and windows of No 14. This can be conditioned as part of the landscaping condition for the rear communal area.

Future occupants

The proposal would provide an area of private open space to the rear of the property measuring approximately 150sqm.

The Councils SPD, does not stipulate a specific size of amenity area for flats/apartments however it advises that where it is not appropriate to provide private open space for each dwelling, it will be necessary to provide communal areas of open space; these should be located so they can be used by all the residents equally.

Policy HOU13 only advises that appropriate quantity and quality of outdoor private amenity space should be provided.

The external area serving the dwelling should also be of sufficient size to accommodate waste storage requirements, make adequate provision for cycle parking, provide space for outdoor clothes drying and amenity space for residents.

As noted above the proposed development includes the use of the existing courtyard to the rear of the site to be used as communal outdoor amenity space of around 150 sqm. This should be sufficient space for the future occupants to access outdoor space. Furthermore, the site is located within 200m of Queen Street Park which is a local area of open space and play area.

Internal living conditions

The plans show that each bedroom would have a window to allow for ventilation and natural light, and the bedrooms meet the required internal size standards. There is communal internal living areas proposed to encourage a communal living environment.

Housing standards

In terms of dwelling sizes, it is noted that HOU8 of the SADPD requires that new housing developments comply with the Nationally Described Space Standards (NDSS).

The revised plans have reduced the number of bedrooms from 12 to 10 with a communal kitchen/dining area, separate utility and WC, and an additional study/lounge area. All bedrooms meet the NDSS/HMO requirements for internal space for 1 bedroom of 10.21sqm, with all also exceeding the 2 bed internal space. Each bedroom has an ensuite shower room.

The Nationally Described Spacing Standards (NDSS) states that the minimum internal floor areas for a 6 bedroom property over 1 storey for 8 people (this is the maximum shown in the Table) it requires 125sqm (as per the table below). The property provides 250sqm not including external storage areas.

Table 1 - Minimum gross internal floor areas and storage (m²)

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	
5b	6p	103	110	116	3.5
	7p	112	119	125	
	8p	121	128	134	
6b	7p	116	123	129	4.0
	8p	125	132	138	

It is noted that some neighbours have raised concerns regarding noise / disturbance during construction. Given the relatively small-scale development which will be required to convert the building into a HMO the construction permitted will be limited and an informative will be added to any permission which sets out appropriate construction hours. Any significant noise nuisance during construction would be dealt with by Environmental Protection legislation.

It is therefore considered that the proposal meets the required existing and proposed amenity standards.

Nature Conservation

The Councils ecologist has considered the proposals and made the following comments.

Bats

There is a reasonable likelihood that bats will not present a constraint on the proposed works, and therefore a protected species survey is considered to be disproportionate in this instance.

Biodiversity Net Gain

The site falls within the 'de-minimis' exemption for statutory Biodiversity Net Gain. Subsequently the mandatory Biodiversity Gain Condition does not apply to this application.

No ecological constraints or conditions are required in this instance; however, if the applicant wishes to provide a benefit for wildlife, then it is recommended that native planting and insect boxes are installed within the courtyard area.

Other Matters

The majority of comments from representations have been covered above in this report and have been addressed by the revised plans which have reduced the overall development from 12 bedrooms to 10 bedrooms.

The perceived likely increase in antisocial behaviour, this is noted but given the scale of the development at the intended use (residential accommodation in a residential area) it is not considered that this is an issue which would warrant the refusal of the application. There would be benefits in terms of bringing the building back into use, as it is clear that the site is already attracting some anti-social behaviour with issues such as vandalism.

Impact on house value is not a material planning consideration.

Conclusion

The site is within the Crewe settlement boundary, where there is a presumption in favour of sustainable development.

The main issue therefore is whether there are any other material considerations such as design, amenity, highway safety, living conditions etc that outweigh the in-principal support for the proposal.

During the application process revised plans have been submitted which reduced the number of bedrooms from 12 to 10 with a communal kitchen/dining area, separate utility and WC, and an additional study/lounge area. All bedrooms meet the HMO requirements for internal space for 1 bedroom of 10.21sqm, with all also exceeding the 2 bed internal space. Each bedroom has an ensuite shower room. The building also meets the NDSS requirements for dwellings.

The proposed change of use will have little impact on the appearance of the existing building, retaining the existing façade and only replacing the windows and therefore the change of use will have a neutral impact on the streetscene.

The proposal would provide positive benefits such as the economic sustainability roles by providing employment in the locality during conversion works and social role by providing housing in a sustainable location. The retention and re-use of the building is also a positive benefit of the scheme.

There is sufficient indoor and outdoor space provided for the future occupants to meet the requirements of the SPD and local plan policies. The site is located in a sustainable location with good links to public transport hubs.

Although there is no off-street parking proposed with the scheme, the Highways officer states that, further technical information has been submitted on the available on-street parking in

the vicinity of the site and also on the likely car ownership by HMO tenants. The results of the PM parking survey showed that there are available spaces on local roads in the vicinity of the site. Whilst these are not all on Vincent Street there are a number of spaces available close to the site within easy walking distance. The car ownership information submitted indicated that only 14% of tenants had cars, these figures may be considered optimistic but does show that not all tenants will own a car. Therefore, it is considered that given the sustainable location of the site, the parking and ownership data and the proposed secure cycle storage the scheme is acceptable in terms of highway safety.

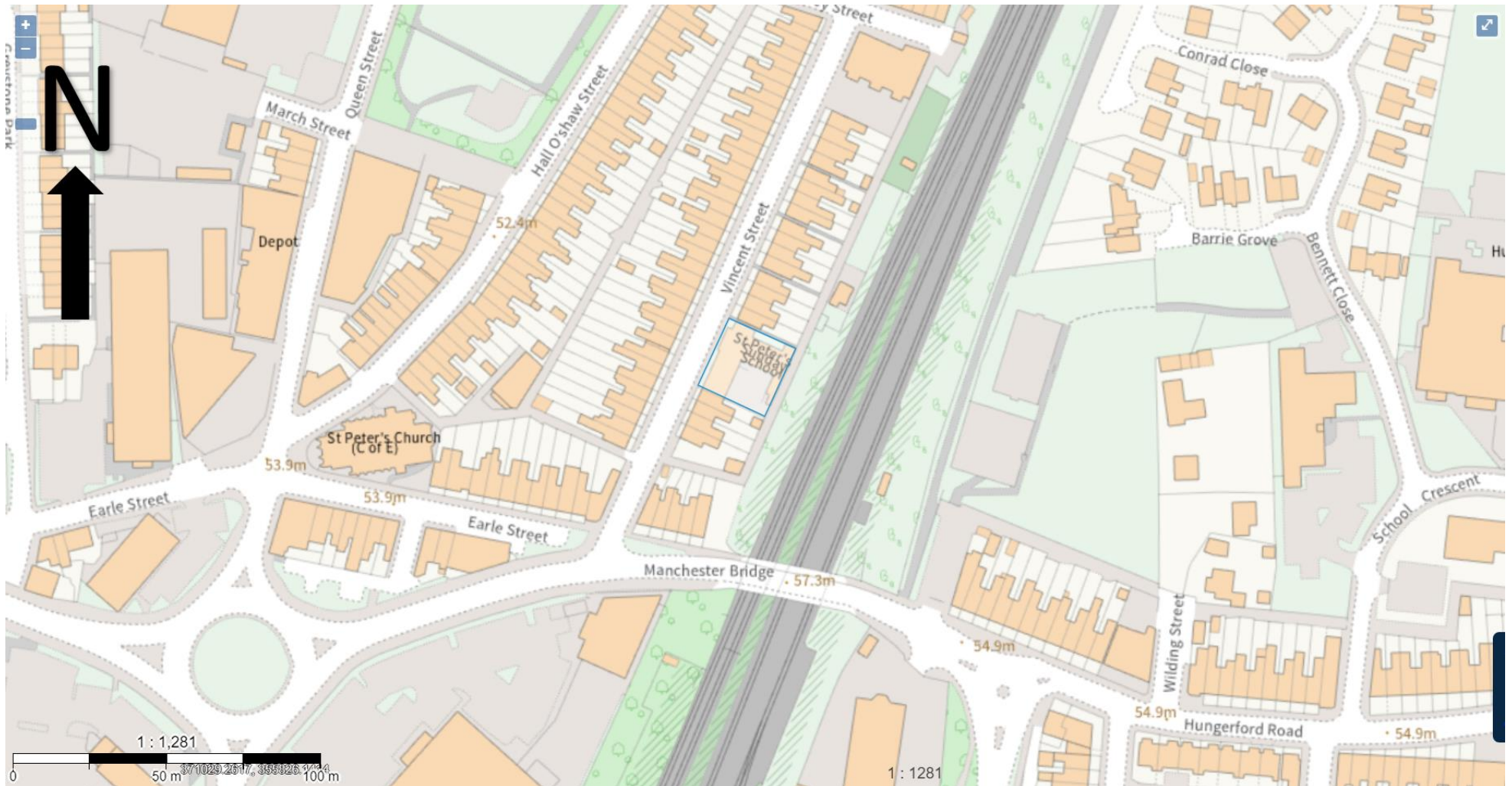
It is therefore considered that the proposal is acceptable and therefore recommended for approval accordingly.

RECOMMENDATION

Approve with conditions

- 1. Standard Time**
- 2. Approved Plans**
- 3. External Materials to match existing**
- 4. Soft/Hard Landscaping plan**
- 5. Landscaping implementation**
- 6. Boundary Treatment**
- 7. Bin Storage – details and retention**
- 8. Cycle Storage – details and retention**
- 9. Surface water drainage scheme – details to be submitted**

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning (Regulation), in consultation with the Chair (or in their absence the Vice Chair) of Southern Planning Committee, to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.



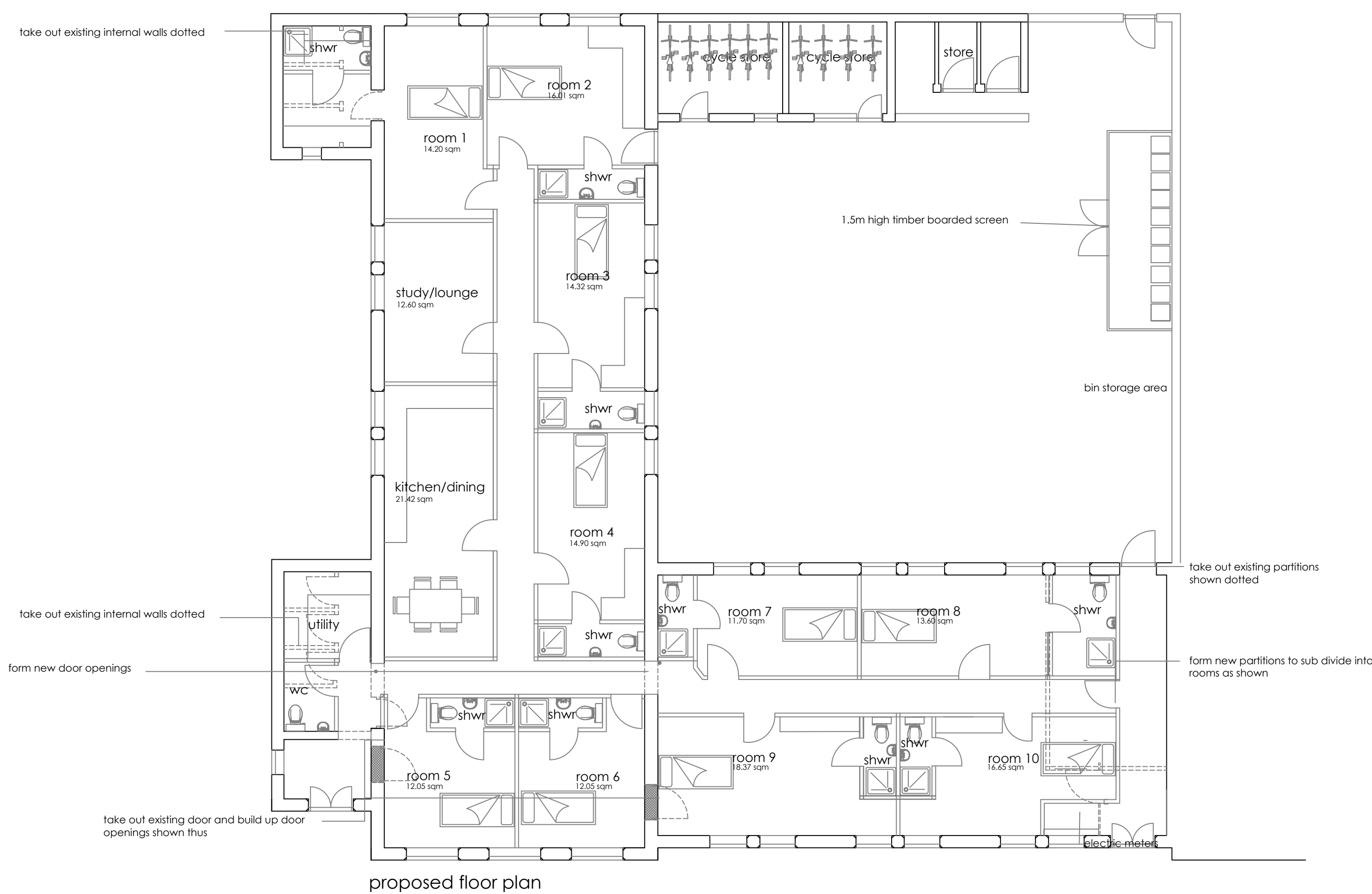
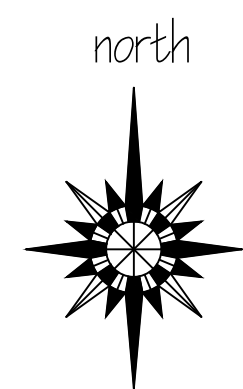
24/2326N

First Friends Pre School Vincent
Street, Crewe

Revision	Comments	Date
A	Elevations added	July 2024
B	rooms increased in size	Sept 2024
C	layout amended	Oct 2024
D	layout amended	Oct 2024
E	layout amended	Nov 2024



Produced on 04 April 2024 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date.
This map shows the area bounded by 371105 355713, 371127 355716, 371135 355652, 371105 355652, 371105 355713.
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Data licence expires 04 April 2025. Unique plan reference: v26/1060400/1457253



Client
Skopec Property Investments

Title
preliminary Scheme layout plan

Scale @A0 1:100
Date April 2024
Drg no 2379 /02 Rev E